



## Planning Commission Staff Report

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** SYDNEY BETHEL, PLANNER II *SdB*  
(480) 503-6721, SYDNEY.BETHEL@GILBERTAZ.GOV

**THROUGH:** ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*  
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

**MEETING DATE:** DECEMBER 2, 2020

**SUBJECT:** DR20-138, BILL LUKE SANTAN PHASE II – DETAILING BUILDING

**STRATEGIC INITIATIVE:** Prosperous Community

Attract, retain and grow businesses that serve a regional customer base and help to increase Gilbert's sales tax revenue.

### RECOMMENDED MOTION

Approve the Findings of Fact and approve DR20-138, Bill Luke Santan Phase II-Detailing Building: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 7.12 acres, generally located within the Santan Motorplex at the northwest corner of Speedway Drive and Motorplex Loop, in the General Commercial (GC) zoning district with a Planned Area Development (PAD) overlay.

### APPLICANT

**Company:** John Mahoney Architect, LLC  
**Name:** John Mahoney  
**Address:** 850 W. Elliot Rd. #108  
Tempe, AZ 85284  
**Phone:** (480) 518-2282  
**Email:** john@mahoneyarch.com

### OWNER

**Company:** Luke Gilbert LLC  
**Name:** Don Luke  
**Address:** 2425 W. Camelback Rd.  
Phoenix, AZ 85015  
**Phone:** (602) 249-1234  
**Email:** don@billluke.com

## **BACKGROUND/DISCUSSION**

### **History**

<b>Date</b>	<b>Description</b>
<i>September 28, 1999</i>	Town Council approved A98-10 (Ordinance No. 1207), annexing approximately 1,340 acres into the Town of Gilbert.
<i>October 1, 2002</i>	Town Council approved Z01-20 (Ordinance No. 1431), amending the Spectrum at Val Vista PAD, amending several conditions and rezoning as General Commercial (GC) the acreage of what now constitutes the Motorplex subdivision.
<i>August 2, 2017</i>	Planning Commission/ Design Review Board approved DR17-1049, Bill Luke Auto Dealership directly to the south of the subject site.
<i>December 4, 2019</i>	Planning Commission approved DR19-120, Bill Luke Phase 2 which included the master site plan for the subject site and a 10,986 sq. ft vehicle services facility and associated site improvements.

### **Overview**

The subject site is approximately 7.12 acres and is located within the Santan Motorplex at the northwest corner of Speedway Drive and Motorplex Loop. The proposed project will serve in association with the approved Bill Luke auto dealership to the south of the subject site, across Motorplex Loop. The proposed Bill Luke Santan Phase II – Detailing Building project includes two (2) new buildings. The first being a 31,878 sf vehicle service building (Building 1) and the second a 2,904 sf car wash with steam bays (Building 2). The site is currently under construction. The first phase of development was approved under DR19-120 and included the associated site improvements and a 13,108 sf service facility (Building 3) on the west side of the site.

### **Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
<b>North</b>	General Commercial (GC) and Public Facility/ Institutional (PF/I)	General Commercial (GC) PAD and Public Facility/ Institutional (PF/I)	Christina Brothers Automotive Service, Vacant and SRP Substation
<b>South</b>	General Commercial (GC)	General Commercial (GC) PAD	Bill Luke Auto Dealership
<b>East</b>	General Commercial (GC)	General Commercial (GC) PAD	Enterprise Auto Dealership
<b>West</b>	Business Park (BP)	Business Park (BP) and Maricopa County Residential	Single Family Residential
<b>Site</b>	General Commercial (GC)	General Commercial (GC) PAD	Service Facility (Under Construction)

### Project Data Table

Site Development Regulations	Required per LDC and Ord. No. 1431	Proposed
Minimum Building Area	-	Building 1 - 31,878 sf Building 2 - 2,904 sf
Maximum Height (ft.)/Stories	45'	Building 1 - 28' Building 2 - 17'-4"
Min. Setback (Bldg./Landscape) (ft.)		
Front (south)	20'/ 20' (Recorded Santan Motorplex Landscape Easement)	20'/ 20'
Side (east)	Internal*	Internal*
Side (west)	20'/ 20'	20'/ 20'
Rear (north)	20'/ 20' and Internal*	20'/ 20'
Separation Between Buildings	15' (1-story)	59'-7"
Off-Street Parking and Loading	<p><i>Vehicular Services, Light:</i> 3 spaces per service bay plus 1 space per 250 sq. ft. office area</p> <p>Building 1 (41 Service Bays/ 330 sf of Office Space) - 125 Spaces Required</p> <p>Building 3 (7 Service Bays/5,067 sf of Office) - 42 Spaces Required (Building existing)</p> <p><i>Car Wash, Automated or Self Service:</i> 2 spaces Minimum</p> <p>Building 2 - 2 Spaces Required</p> <p><b>169 Total Spaces Required</b></p>	<b>228 Spaces Provided</b>
Bicycle Parking	<p>1 space per 10 vehicle spaces</p> <p><b>17 Bicycle Spaces Required</b></p>	<b>18 Bicycle Spaces Provided</b>

\* may be reduced internal to site in conformance with LDC Section 2.304.E.

## **DISCUSSION**

### **Site**

The proposed Bill Luke Santan Phase II – Detailing Building project includes two (2) new buildings. The first being a 31,878 sf vehicle service building (Building 1) and the second a 2,904 sf car wash with steam bays (Building 2) both located on the west side of the greater site area. Neither of the proposed buildings will be accessible to the public. Building 1 includes forty-one (41) service bays and a small 330 sf office area. A parking canopy has been proposed on the west side of the building 1 and is proposed to be attached to the building. All servicing will take place internal to the building and the service portion of the building is intended for light vehicle repair, maintenance, detailing, automotive painting and photography. A covered open air detailing area has been provided on the east side of Building 1 (detailing building) and on the north side of Building 2 (car wash). Per the applicant, the car wash will be used to wash vehicle inventory prior to display. The detailing bays adjacent to the car wash will be used for steam cleaning cars.

Site improvement such as access, parking and site screen walls were previously approved under DR19-120. All parking and vehicle storage will occur within the previously approved storage area screened by a 7' high wall. Primary access to the site has been provided via a gated access from Motorplex Loop. Adequate stacking (58'-2") has been shown from Motorplex Loop to the proposed access gate. Secondary/ Fire access will be provided on the northeastern portion of the subject site via an existing fire access easement provided by the Santan Motorplex developer and constructed with the adjacent Christian Brothers Automotive development. The proposed site design demonstrates compliance with Town of Gilbert requirements for access, screening and infrastructure. The overall site will be primarily secured and enclosed by site screen walls in compliance with the LDC requirements for fencing.

### **Landscape**

No additional landscaping is being added to the site with this project. All landscaping is included under the first phase of the project under DR19-120.

### **Grading and Drainage**

On-site retention is provided through a combination of surface and underground storage on the subject site. The retention provided is to accommodate the phase II development, all required retention for phase I has already been provided under DR19-120. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

### **Elevations, Floor Plan, Colors and Materials**

The proposed building elevations, architectural design and colors/ materials are coordinated with, and similar in design to, the existing Bill Luke dealership facility located directly to the south of the subject site within the Santan Motorplex and the previously approved building on the subject site (Building 3). The two (2) proposed buildings are both one-story in height with the vehicle service building (Building 1) being 28' in height and the car wash (Building 2) being 17'-4" in height. The colors chosen are muted desert tones and the materials include three (3) types of stone – smooth face, split face and ground face, and painted steel



and aluminum. Staff believes that the building provides suitable articulation and design elements that are both compatible with the approved Bill Luke auto dealership to the south, the previously approved building on the subject site (Building 3), and will also be primarily screened behind the proposed 7' high decorative CMU screen wall located along Motorplex Loop.

### **Lighting**

There are two (2) lighting types proposed, they included building mounted and canopy. All proposed lighting for the project is for Building 1 and Building 2. All other site lighting was previously approved under DR19-120 and the proposed lighting is either the same or complementary to the phase I lighting. All site lighting will be required to comply with Town codes.

### **Signage**

Signage is not included in this approval. An amendment to the Master Sign Program for the Santan Motorplex for any additional monument signage will be required, prior to permitting.

### **PUBLIC NOTIFICATION AND INPUT**

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

### **STAFF RECOMMENDATION**

Approve the Findings of Fact and approve DR20-138, Bill Luke Santan Phase II-Detailing Building: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 7.12 acres, generally located within the Santan Motorplex at the northwest corner of Speedway Drive and Motorplex Loop, in the General Commercial (GC) zoning district with a Planned Area Development (PAD) overlay, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the December 2, 2020 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Signage is not included in this approval. All signage shall comply with the Master Sign Program for the Santan Motorplex.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Sydney Bethel', with a stylized flourish at the end.

Sydney Bethel  
Planner II

**Attachments and Enclosures:**

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Grading and Drainage
- 6) Elevations
- 7) Colors and Materials
- 8) Floor Plans
- 9) Lighting
- 10) Applicant's Narrative

**FINDINGS OF FACT  
DR20-138, Bill Luke Santan Phase II - Detailing Building**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

**PLANNING COMMISSION DATE:**

**Wednesday, December 2, 2020\* TIME: 6:00 PM**

**LOCATION:** Due to the impacts of the COVID-19 pandemic, all public meetings will be conducted using measures to protect public health until further notice. Please refer to the meeting agenda for methods of public participation, as permitted under Arizona state law.

\*Call Planning Division to verify date and time: (480) 503-6721

\* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at [www.gilbertaz.gov/departments/development-services/planning/planning-commission](http://www.gilbertaz.gov/departments/development-services/planning/planning-commission) and [www.gilbertdocs.com/gilbertagendaonline](http://www.gilbertdocs.com/gilbertagendaonline).

**REQUESTED ACTION:**

DR20-138 BILL LUKE SANTAN PHASE II: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 7.12 acres, generally located within the Santan Motorplex at the northwest corner of Speedway Drive and Motorplex Loop, in the General Commercial (GC) zoning district with a Planned Area Development (PAD) overlay.

**SITE LOCATION:**



**APPLICANT:** John Mahoney Architect  
**CONTACT:** John Mahoney  
**ADDRESS:** 850 W Elliot Road, #108  
Tempe, AZ 85284

**TELEPHONE:** (480) 518-2282  
**E-MAIL:** john@mahoneyarch.com





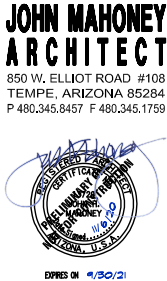
BILL LUKE SAN TAN  
DETAILING BUILDING  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA

PROJECT NO.: 2015  
ISSUE DATE: 9/21/20

PARCEL/AERIAL MAP  
EXHIBIT

A101





JOHN MAHONEY  
ARCHITECT  
850 W. ELLIOT ROAD, #108  
TEMPE, ARIZONA 85284  
P 480.345.8457 F 480.345.1759

PROJECT NO.: 2015  
ISSUE DATE: 9/21/20

SITE PLAN

A100

SITE NOTES

1. ALL UTILITY LINES LESS THAN 60 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND.
2. ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVEWAYS. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL TRACTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
3. ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8" SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
4. S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:  
A. FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.  
B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, L-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.  
C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
5. THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
6. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:  
A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR:  
B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANS IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
7. ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET, TO THE EXTENT PERMITTED BY LAW. SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
8. GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR SURROUNDING COMMERCIAL USES BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
9. PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:  
A. ENCLOSED IN PLASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR:  
B. ROUTED UNDER GROUND.
10. ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" AND LESS SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
11. ALL FREESTANDING LIGHT POLES SHALL:  
A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.  
B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.  
C. BE LOCATED TO AVOID CONFLICT WITH TREES.
12. SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.1.03 OF THE ULDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 28'.
13. LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNTED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED RIGHT-OF-WAY AND LANDSCAPING TRACTS LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SLOPE SLOPES SHALL BE MAINTAINED, AND NO SLOPE SHALL EXCEED 4:1 MAXIMUM.
14. COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
15. COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMAMITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
16. CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
17. ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
18. EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

PROJECT INFORMATION

PROJECT NAME: BILL LUKE SANTAN - DETAILING BUILDING  
PROJECT ADDRESS: 1338 EAST MOTORPLEX LOOP  
ARCHITECT: JOHN MAHONEY ARCHITECT LLC  
850 W. ELLIOT ROAD, #108  
TEMPE, ARIZONA 85284  
ZONING: GC (EXISTING)  
GROSS BUILDING AREA:  
BUILDING 1: 31,878 S.F.  
BUILDING 2: 2,904 S.F.  
BUILDING 3: 13,108 S.F.  
TOTAL BUILDING AREA: 47,890 S.F.  
GROSS SITE AREA: 361,326 S.F. (8.29 ACRES)  
NET SITE AREA: 313,451 S.F. (7.12 ACRES)  
LOT COVERAGE: 47,890 S.F./313,451 S.F. = 15.3%  
MAX. BUILDING HEIGHT: 45' 20" PROPOSED  
BUILDING SETBACKS:  
FRONT - 25'  
SIDE (RESIDENTIAL) - 75'  
SIDE (NONRESIDENTIAL) - 20'  
BACK (NONRESIDENTIAL) - 20'  
SINGLE STORY - 15'  
BUILDING SEPARATION:  
\*BOTH BUILDINGS SHALL BE PROVIDED WITH FIRE SPRINKLER SYSTEMS.  
CODE BOOK PARKING:  
BUILDING 1:  
SERVICE (3 SPACES/1 SERVICE BAY)  
3 SPACES X 41 SERVICE BAYS = 123 SPACES  
OFFICE (1 SPACE/250 S.F. OFFICE)  
330 S.F./250 S.F. = 2 SPACES  
BUILDING 2:  
CAR WASH, AUTOMATED = 2 SPACES  
BUILDING 3:  
SERVICE (3 SPACES/1 SERVICE BAY)  
3 SPACES X 7 SERVICE BAYS = 21 SPACES  
OFFICE (1 SPACE/250 S.F. OFFICE)  
5,067 S.F./250 S.F. = 21 SPACES  
TOTAL REQUIRED PARKING = 169  
BICYCLE PARKING REQUIRED = 17 (9 LOOPS)  
CODE PARKING PROVIDED = 169 SPACES (6 ADA)  
INVENTORY PARKING = 228 SPACES  
BICYCLE PARKING = 18 SPACES  
LANDSCAPING PROVIDED (PER C.G. ZONING) 15% = 313,354 x .15 = 47,004 S.F.  
LANDSCAPING PROVIDED = 48,618 S.F. (1.52 %)  
APPROVED MASTER SITE PLAN: DR19-120 (DR20-40 AMENDMENT)

LEGAL DESCRIPTION

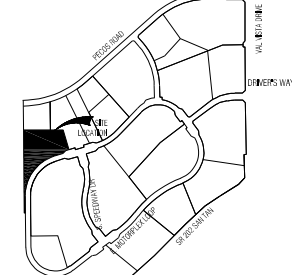
LOT 22 OF THE RE-PLAT OF PARCEL 1A OF THE RE-PLAT OF PARCEL 1, SANTAN MOTORPLEX AND LOTS 2A & 2B OF THE RE-PLAT OF PARCEL 2, SANTAN MOTORPLEX & PARCEL 1B OF THE RE-PLAT OF PARCEL 1, SANTAN MOTORPLEX, PER BOOK 1250 OF MAPS, PAGE 48, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA  
ASSESSOR'S PARCEL NUMBER: 304-54-105  
RELATED CASES:  
• PPA-2016-00074  
• DR19-120

KEYNOTES

- 1 PROPERTY LINE
- 2 TYPICAL CONCRETE PAVING
- 3 TYPICAL 6" H CONCRETE CURB
- 4 ACCESSIBLE ROUTE OF TRAVEL, MIN WIDTH TO BE 4'-2" RUNNING SLOPE SHALL NOT EXCEED 1:20. CROSS SLOPE SHALL NOT EXCEED 1:50. SURFACE TO BE FIRM, STABLE AND SLIP RESISTANT.
- 5 EXISTING GATE, W/ KNOX BOX PER T.O.G. FIRE DEPT REGULATION 12-503.6
- 6 SERVICE ENTRANCE SECTION
- 7 VISIONARY SIGHT TRIANGLE PER T.O.G. DETAIL #GL-212
- 8 EXISTING PUBLIC SIDEWALK
- 9 EXISTING STREET CURB AND GUTTER
- 10 EXISTING SCREEN WALL
- 11 ADA PARKING STALL & ACCESSIBLE AISLE
- 12 ACCESSIBLE CROSSWALK
- 13 EXISTING LANDSCAPING
- 14 BICYCLE RACK - SEE DETAIL 7/A510
- 15 MAIN GATE - SEE DETAIL 1/A510
- 16 TYPICAL BOLLARD
- 17 EXISTING UNDERGROUND RETENTION - SEE CHIL
- 18 EXISTING RETENTION BASIN - SEE CHIL
- 19 EXISTING REFUSE YARD PER T.O.G. DETAIL GL-180
- 20 EXISTING ELECTRICAL TRANSFORMER AND CONC. UTILITY COMPANY CONC. PAD BY G.C. TO UTILITY CO. REQUIREMENTS
- 21 FIRE RISER ROOM
- 22 REFUSE YARD PER T.O.G. DETAIL GL-180 - SEE DETAIL 6/A510
- 23 SAND/OIL SEPARATOR
- 24 LIMITS OF CONSTRUCTION
- 25 CONCRETE DRIP CONTAINMENT SLAB
- 26 FIRE DEPARTMENT CONNECTION

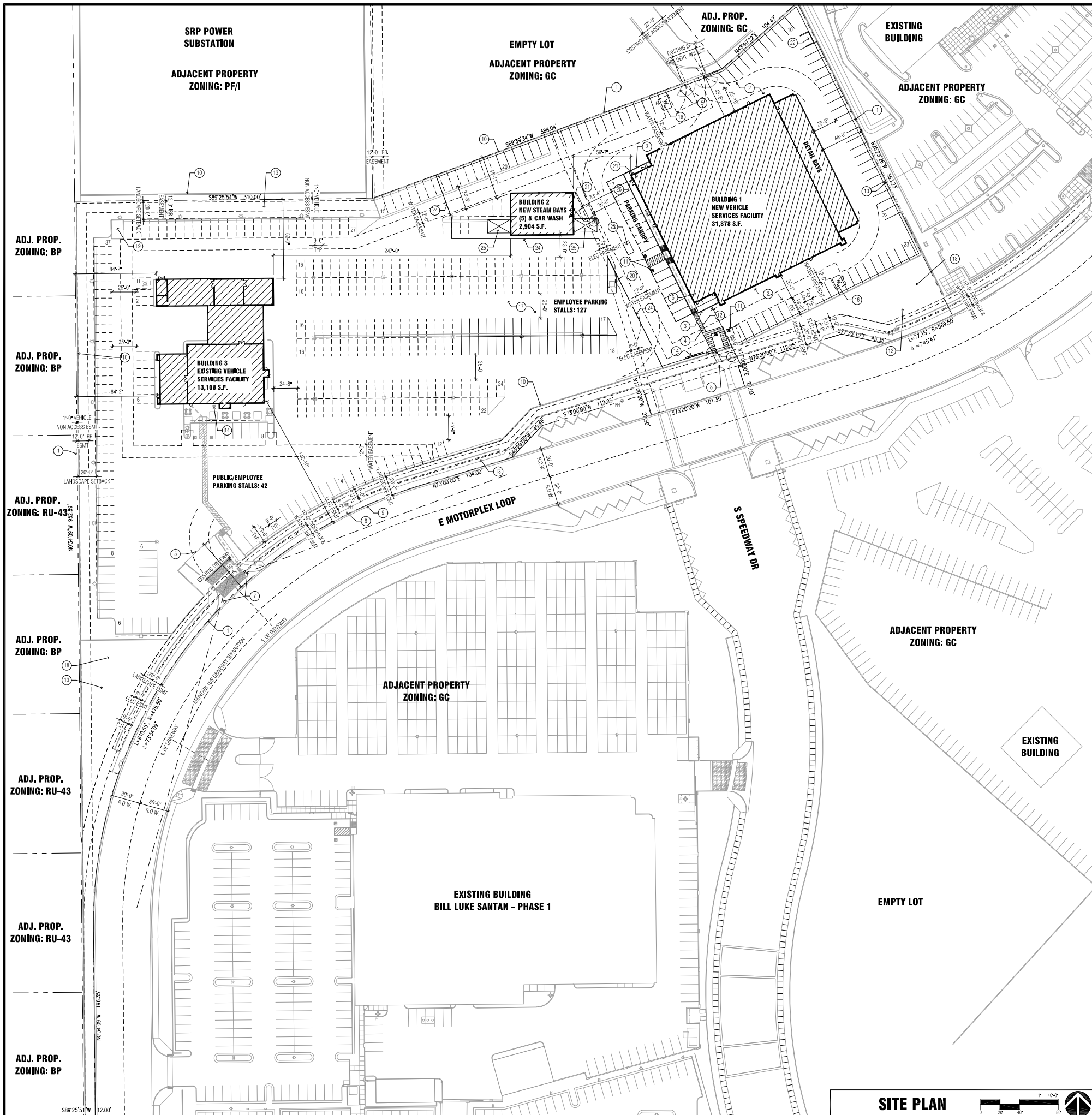
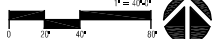
LEGEND

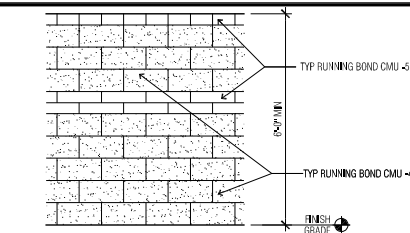
- 1" FIRE HYDRANT - SEE CHIL
- 1" EXISTING 1" HIGH LIGHT POLE FIXTURE
- DASHED LINE INDICATES VEHICLE INVENTORY NOT REQUIRED BY CODE
- TYPICAL ORDNANCE REQUIRED PARKING SPACE
- ACCESSIBLE ROUTE OF TRAVEL RUNNING SLOPE SHALL NOT EXCEED 1:20. CROSS SLOPE SHALL NOT EXCEED 1:48. MIN WIDTH SHALL BE 4'-2". SURFACE SHALL BE FIRM, STABLE AND SLIP RESISTANT
- 15' DENOTES FIRE TRUCK TURNING RADIUS (VEHICLE TRANSPORT TRUCK & REFUSE TRUCK)



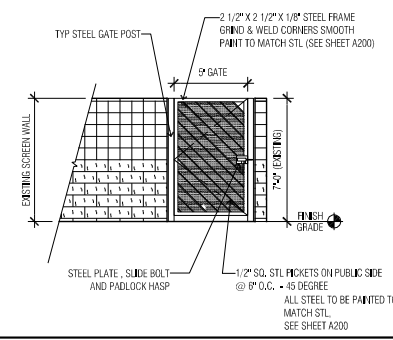
VICINITY MAP

SITE PLAN





ELEVATION	SYM.	MATERIAL DESCRIPTION	
	CMU-4	MATERIAL	CONCRETE MASONRY UNIT
		MANUF	WESTERN BLOCK
		SPEC	8x8x16 SPLIT FACE
		COLOR	"BONE" W/ BLACK CHISELS ONLY
	CMU-5	MATERIAL	CONCRETE MASONRY UNIT
		MANUF	WESTERN BLOCK
		SPEC	8x8x16 SMOOTH FACE
		COLOR	"COCOA BROWN"



**JOHN MAHONEY  
ARCHITECT**

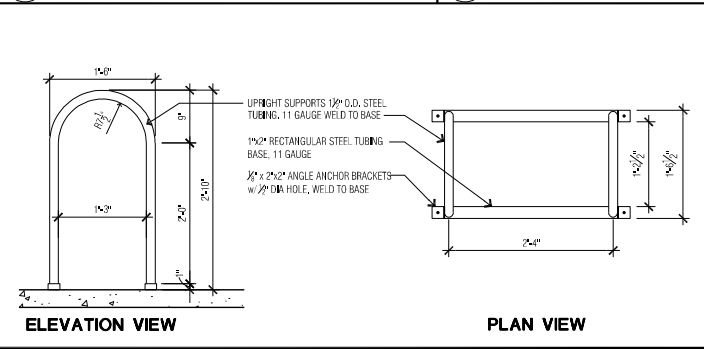
850 W. ELLIOT ROAD #108  
TEMPE, ARIZONA 85284  
P 480.345.8457 F 480.345.1759



COPIES OF 9/30/21

## 6 TRASH ENCLOSURE WALL

## 1 MAN GATE ELEVATION



- NOTES:
1. DOUBLE RACK HOLDS 4 BICYCLES. PROVIDE 17 PARKING SPACES.
  2. FINISH TO BE WEATHER RESISTANT, BAKED-ON POWDER POLYMER COATING
  3. ANCHOR RACK TO CONCRETE W/ 2" DIA. x 22" WIDE ANCHORS AND TAPER RESISTANT OR WELDED NUTS (4 REQ.) OR SET TURNING 12" BELOW GRADE IN 24" DEEP x 8" WIDE CONCRETE FOOTING
  4. CONCRETE BASE MAY BE COVERED WITH TURF OR DECOMPOSED GRANITE.
  5. PLACEMENT OF BICYCLE RACK SHALL BE CONVENIENT TO MAIN ENTRANCE AND IN A HIGHLY VISIBLE AREA.
  6. 24" MIN. CLEARANCE FROM WALLS OR OBSTRUCTIONS INCLUDING CURBS OR EDGE OF ROADWAY ON BOTH SIDES AND BACK OF RACK. FRONT OF RACK SHALL HAVE A 6" MIN. CLEAR AREA.

## 7 BICYCLE PARKING RACK

**BILL LUKE SAN TAN  
DETAILING BUILDING  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA**

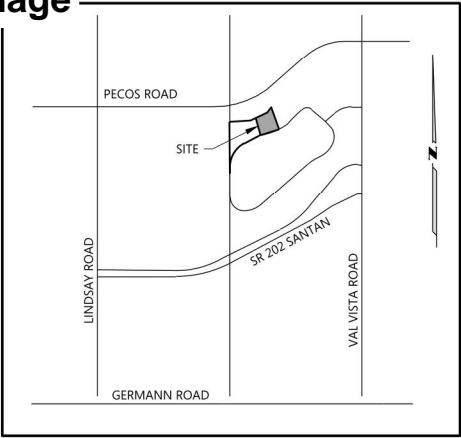
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## SITE DETAILS

A510

DR20-138: Bill Luke Santan Phase II  
Attachment 5 - Grading and Drainage

PRELIMINARY CIVIL IMPROVEMENT PLANS  
LUKE GILBERT SERVICE CENTER  
BEING A PORTION OF THE NORTHEAST QUARTER OF  
SECTION 5, TOWNSHIP 2 SOUTH, RANGE 6 EAST,  
OF THE GILA & SALT RIVER BASE  
MARICOPA COUNTY, ARIZONA



VICINITY MAP  
N.T.S.

ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION ARE INCORPORATED INTO THIS PLAN SET IN THEIR ENTIRETY. THE LATEST EDITION, INCLUDING LATEST REVISION AS WELL AS THE CURRENT SUPPLEMENTAL SPECIFICATIONS AND DETAILS OF THE JURISDICTION ARE ALSO INCORPORATED.
- ALL WORK REQUIRED BY THE CONTRACTOR TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE JURISDICTION UNLESS OTHERWISE SPECIFIED IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS, LATEST M.A.G. REVISIONS AND JURISDICTION SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN SET OR ELSEWHERE IN THE CONTRACT.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN SET AND IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN SET.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THIS PLAN SET ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN SET.
- THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN BASED ON UTILITY COMPANY RECORDS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (811) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, INCLUDING EXCAVATION AND FILL PLACEMENT, TRENCHING, PIPE BEDDING, AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL BE AWARE THAT CERTAIN UTILITIES MAY REQUIRE PROPER ATTENTION AND CAREFUL PLANNING DURING SITE CONSTRUCTION. PLEASE NOTE THAT UTILITIES ON THESE PLANS MAY NOT EXHIBIT THE FULL PROTECTIVE COVER REQUIRED DURING THE SUBGRADE PREPARATION PHASE OF THE CONSTRUCTION. IN SUCH INSTANCES, THE CONTRACTOR SHALL PROVIDE ADDITIONAL PROTECTION SUCH AS RAMPING OR INCREASED PIPE STRENGTH TO PROVIDE THE NECESSARY PROTECTION REQUIRED TO PREVENT DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL HOLD THE ENGINEER HARMLESS IN ALL CASES FOR DAMAGES TO UTILITIES WHERE INADEQUATE PROTECTIVE MEASURES OCCUR.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER'S AGENT AND ENGINEER.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECT'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS AN ESSENTIAL PART OF THE CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND SHALL WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT AND ENGINEER IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. VERIFY WITH OWNER REPRESENTATIVE THAT ALL UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN TWO FEET DEEP AND NOT ALLOW COMPACTION OVER 80%.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE MAY JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- SEWER LINES DESIGNED IN PROFILE AND PUBLIC WATER LINES ARE REQUIRED TO BE AS-BUILT AND THE INSTALLATION AND TESTING WITNESSED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODES R18-9-E301 "4.01 GENERAL PERMIT: SEWAGE COLLECTIONS SYSTEMS" AND R18-5-507 AND 508 "APPROVAL OF CONSTRUCTION" AND "RECORD DRAWINGS", RESPECTIVELY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER'S AGENT 72 HOURS IN ADVANCE WHEN THOSE SYSTEMS ARE READY TO BE WITNESSED.
- THE WORK PRODUCT PRESENTED IS BELIEVED TO BE COMPLIANT WITH THE INTENT OF THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS AS INTERPRETED BY THE REVIEWING AGENCY(S). IF CONSTRUCTION OF THE PROJECT IS DELAYED, THIS WORK PRODUCT SHOULD BE UPDATED TO ACCOUNT FOR ANY RELEVANT ADA UPDATES BEFORE CONSTRUCTION BEGINS.
- FINISH FLOOR (FF) REFERS TO FLOOR/SLAB ELEVATIONS ON THE GRADING AND DRAINAGE PLANS FOR RESIDENTIAL UNITS AND CANNOT BE LOWERED WITHOUT AGENCY APPROVAL. IN LOCATIONS WHERE "SPECIAL FLOOD HAZARD AREAS EXIST" IN NON-FLOOD HAZARD LOCATIONS, TO ENSURE THAT ADEQUATE RESIDENTIAL LOT DRAINAGE CAN BE ACHIEVED, A PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF THE (FF) FOR THE SLAB IS PROPOSED TO BE LOWERED OR IF A BASEMENT IS TO BE CONSTRUCTED.
- HORIZONTAL CONTROL FOR THE PROJECT IS BASED ON THE FINAL PLAT OR HORIZONTAL CONTROL PLAN. FINAL PLAT SHALL BE USED TO LAYOUT ALL PROPERTY AND LOT LINES AND ROADWAY CENTERLINE CONTROL.

LEGAL DESCRIPTION

LOT 2H OF A RE-PLAT OF LOT 2C OF "A REPLAT OF PARCEL 1A OF THE 'REPLAT OF PARCEL 1 SANTAN MOTORPLEX' AND LOTS 2A & 2B OF THE 'REPLAT OF PARCEL 2, SANTAN MOTORPLEX & PARCEL 1B OF THE REPLATE OF PARCEL 1, SANTAN MOTORPLEX & PARCEL 1B OF THE REPLAT OF PARCEL 1, SANTAN MOTORPLEX' AS RECORDED IN BOOK 1347, PAGE 9, M.C.R.

LEGEND

SEE LEGEND ON SHEET C2.

DRAINAGE CALCULATION

BILL LUKE SANTAN PHASE 2 DRAINAGE INFRASTRUCTURE PER CIVIL IMPROVEMENT PLANS DESIGNED BY WESTWOOD PROFESSIONAL SERVICES, DATED 05-21-2020, WAS DESIGNED TO PROVIDE RETENTION FOR THE FUTURE BUILD OUT OF LUKE GILBERT SERVICE CENTER. THE FOLLOWING CALCULATIONS REFLECT THE CALCULATIONS PER PHASE 2 IMPROVEMENTS. ALL REQUIRED RETENTION HAS ALREADY BEEN PROVIDED.

VOLUME REQUIRED - 50 YEAR-24 HOUR STORM EVENT

$V_R = C \times P/12 \times A$

ON-SITE

WHERE:	=	VOLUME REQUIRED (CU.FT.)
$V_R$	=	3.0 (50YR, 24HR)
P	=	0.91
C	=	0.91 WEIGHTED RUNOFF COEFFICIENT
A	=	313,451 AREA IN SQUARE FEET (NET)

Weighted 'C' Calculation

	C	AREA	% OF SITE	WEIGHTED C
CONCRETE, ROOF TOPS	0.95	267126	0.85	0.81
DESERT LANDSCAPE	0.7	46325	0.15	0.10
TOTAL			1	0.91

VOLUME REQUIRED:  
 $V_R = 3.0/12 \times 313,451 \text{ SQ.FT.} \times 0.91$   
 $V_R = 71,310 \text{ C.F.}$

OFF-SITE

WHERE:	=	VOLUME REQUIRED (CU.FT.)
$V_R$	=	3.0 (50YR, 24HR)
P	=	0.91 RUNOFF COEFFICIENT PER MASTER REPORT FOR SANTAN MOTORPLEX
C	=	0.91 PREPARED BY EPS GROUP, INC DATED 10-13-04
A	=	45,302 AREA IN SQUARE FEET (NET)

VOLUME REQUIRED:  
 $V_R = 3.0/12 \times 45,302 \text{ SQ.FT.} \times 0.91$   
 $V_R = 10,454 \text{ C.F.}$

TOTAL VOLUME REQUIRED

ON-SITE = 71,310 C.F.  
OFF-SITE = 10,454 C.F.

TOTAL = 81,764 C.F.

TOTAL VOLUME PROVIDED

UNDERGROUND RETENTION  
990 L.F. OF 10' UNDERGROUND CMP =  $\pi \times 5^2 \times 990 \text{ L.F.} = 77,754 \text{ C.F.}$

SURFACE RETENTION  
4,624 C.F.

TOTAL: 77,754 C.F. + 4,624 C.F. = 82,378 C.F.

RETENTION VOLUME TABLE

VOLUME REQUIRED	VOLUME PROVIDED	AS-BUILT VOLUME
81764 CU. FT.	82,378 CU.FT.	

SHEET INDEX

- C1 COVER SHEET
- C2 KEY MAP
- C3 GRADING AND DRAINAGE PLAN
- C4 SECTIONS AND DETAILS
- C5 UTILITY PLAN

DRAINAGE STATEMENT

PROJECT NARRATIVE:  
THE SUBJECT SITE IS A PROPOSED AUTOMOTIVE DEVELOPMENT PARCEL. THE DEVELOPMENT WILL INCLUDE THE CONSTRUCTION OF THE DEALERSHIP SERVICE BUILDING ALONG WITH ASSOCIATED PAVED PARKING LOT AND LANDSCAPE AREAS, UTILITIES AND PERMANENT DRAINAGE INFRASTRUCTURE TO CONVEY THE REQUIRED OFF-SITE AND ON-SITE STORMWATER RETENTION VOLUME TO PERMANENT ON-SITE UNDERGROUND RETENTION SYSTEM. SAID SITE IS LOCATED IN A MASTER PLANNED COMMERCIAL SUBDIVISION THAT WAS DESIGNED TO BE DEVELOPED AS AUTOMOTIVE SALES AND SERVICE DEALERSHIPS.

PROJECT LOCATION:  
THE SUBJECT SITE LIES ON THE NORTH LINE OF THE NE 1/4 OF SECTION 5, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY GILBERT, ARIZONA. THE SITE IS IDENTIFIED AS LOT 2H OF A RE-PLAT OF LOT 2C OF "A REPLAT OF PARCEL 1A OF THE 'REPLAT OF PARCEL 1 SANTAN MOTORPLEX' AND LOTS 2A & 2B OF THE 'REPLAT OF PARCEL 2, SANTAN MOTORPLEX & PARCEL 1B OF THE REPLATE OF PARCEL 1, SANTAN MOTORPLEX & PARCEL 1B OF THE REPLAT OF PARCEL 1, SANTAN MOTORPLEX' AS RECORDED IN BOOK 1347, PAGE 9, M.C.R.

EXISTING DRAINAGE DATA:  
THE SUBJECT SITE ENCOMPASSES APPROXIMATELY 7 ACRES (NET) AND IS CURRENTLY MAINLY DEVELOPED. THE EASTERN PORTION OF THE PARCEL IS MAINLY UNDEVELOPED WITH THE EXCEPTION OF A PAD FOR FUTURE CONSTRUCTION (PER THIS PLAN) AND A TEMPORARY RETENTION BASIN. THE SAID TEMPORARY BASIN WAS CONSTRUCTED IN ACCORDANCE WITH THE CIVIL IMPROVEMENT PLANS "BILL LUKE SANTAN PHASE 2" PREPARED BY WESTWOOD PROFESSIONAL SERVICES DATED 05-21-2020. THE SAID TEMPORARY BASIN RETAINS ON-SITE STORMWATER FOR THE UNDEVELOPED PORTION OF THE PARCEL. THE DRAINAGE INFRASTRUCTURE ON SITE WAS DESIGNED PER THE AFORE MENTIONED CIVIL IMPROVEMENT PLANS FOR "BILL LUKE SANTAN PHASE 2". SAID INFRASTRUCTURE WAS DESIGNED TO RETAIN THE DISTURBED AREA OF PHASE 2 ALONG WITH THE FULL BUILD OUT OF THE EASTERN PORTION OF THE PARCEL. THE INFRASTRUCTURE WAS ALSO DESIGNED TO CONTAIN STORM WATER GENERATED FROM THE ADJACENT MOTORPLEX LOOP AND SPEEDWAY DRIVE RIGHT-OF-WAYS. THE PARCEL GENERAL SLOPES FROM EAST TO WEST. OFF-SITE STORMWATER IS CONVEYED INTO THE SAID ON-SITE RETENTION INFRASTRUCTURE VIA EXISTING VIA CATCH BASINS AND STORM DRAIN PIPES. ON-SITE STORMWATER IS CONVEYED INTO THE BASIN VIA OVERLAND FLOW, VALLEY GUTTERS, CURB & GUTTERS, CATCH BASIN AND STORM DRAIN PIPE.

PROPOSED DRAINAGE DATA:  
ALL PROPOSED DRAINAGE IMPROVEMENTS WILL BE IN ACCORDANCE WITH THE DRAINAGE REPORT PREPARED FOR THE BILL LUKE SANTAN PHASE 2 IMPROVEMENTS PREPARED BY WESTWOOD PROFESSIONAL SERVICES DATED 05-21-2020. ADDITIONAL VALLEY GUTTERS, STORM DRAIN PIPE, AND CATCH BASINS WILL BE PROVIDED TO CONVEY THE ONSITE DRAINAGE, PREVIOUSLY CONTAINED BY THE TEMPORARY RETENTION BASIN, TO THE EXISTING RETENTION FACILITIES WHICH AS MENTIONED HAVE BEEN DESIGNED TO CONTAIN SAID VOLUME.

OFF-SITE STORM WATER RETENTION VOLUMES WILL CONTINUE TO BE PROVIDED BY EXISTING STORM DRAIN FACILITIES PROVIDED IN BILL LUKE SANTAN PHASE 2 IMPROVEMENTS.

RUNOFF FROM THE SUBJECT SITE WILL OUTFALL INTO MOTORPLEX LOOP AT 70.35 AT THE SOUTHWEST CORNER OF THE SITE. THE PROPOSED LOWEST FINISH FLOOR ELEVATION IS 74.00-FOOT WHICH PROVIDES A 3.65-FOOT ELEVATION DIFFERENTIAL BETWEEN THE OUTFALL AND THE FINISH FLOOR ELEVATION.

FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED WITHIN SHADED ZONE "X" DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT" OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; PER FIRM MAP NO. 04013C7242M DATED NOVEMBER 4, 2015.

UTILITY NOTE

UNDERGROUND UTILITIES & STORM DRAIN LOCATIONS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND "BLUE STAKE" MARKINGS AND AVAILABLE MAPS OBTAINED FROM UTILITY COMPANIES AND THE TOWN OF GILBERT, AZ.. ACTUAL LOCATIONS MAY VARY FROM LOCATIONS SHOWN HEREON.

ZONING

THE SUBJECT PROPERTY LIES WITHIN THE TOWN OF GILBERT "GENERAL COMMERCIAL" (GC) AND IS ZONED COMMERCIAL AS SHOWN ON THE TOWN OF GILBERT ZONING MAP REVISED IN FEBRUARY 7, 2017.

BENCHMARK

BRASS CAP IN HANDHOLE LOCATED AT THE INTERSECTION OF WILLIAMS FIELD ROAD AND VAL VISTA DRIVE, BEING THE N.E. CORNER OF SECTION 32, T. 1S., R. 6E., G.&S.R.B.&M.

ELEVATION = 1271.73 (NAVD 88)

BASIS OF BEARING

THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 5, T. 2S., R. 6E., G.&S.R.B.&M. WHICH BEARING N89°25'34"E, AS SHOWN ON THE FINAL PLAT OF "SANTAN MOTORPLEX" RECORDED IN BOOK 172, PAGE 20, MARICOPA COUNTY RECORDS.

OWNER / DEVELOPER

LUKE GILBERT LLC  
2425 WEST CAMELBACK ROAD  
PHOENIX, AZ 85015

ENGINEER

WESTWOOD PROFESSIONAL SERVICES  
6909 EAST GREENWAY PARKWAY, SUITE 250  
SCOTTSDALE, AZ 85254  
TELE: 480-747-6558  
CONTACT: MICHAEL CAYLOR, P.E.  
EMAIL: MICHAEL.CAYLOR@WESTWOODPS.COM

ARCHITECT

JOHN MAHONEY ARCHITECT LLC  
850 W. ELLIOT ROAD #108  
TEMPE, AZ 85284  
CONTACT: TRAVIS MULLENBURG  
EMAIL: TRAVIS@MAHONEYARCH.COM

SITE ADDRESS

1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA

SITE AREA

PARCEL NO 1:		
(GROSS)	=	361,326 SQ. FT. OR 8.2949 ACRES MORE OR LESS
(NET)	=	313,451 SQ. FT. OR 7.1958 ACRES MORE OR LESS

DISTURBED AREA = 93,500 SQ.FT. OR 2.15 ACRES MORE OR LESS

ASSESSORS PARCEL NUMBER

A.P.N. 304-54-105

RECORD DRAWING CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER / LAND SURVEYOR DATE

REGISTRATION NUMBER

APPROVALS

APPROVED: TOWN OF GILBERT ENGINEER DATE

APPROVED: MCESD DATE

PRELIMINARY NOT FOR  
CONSTRUCTION  
11-23-2020



DESIGNED:	CHECKED:	DRAWN:	FIELD CREW:	SCALE:
				1" = N/A
				HORIZONTAL
				VERTICAL

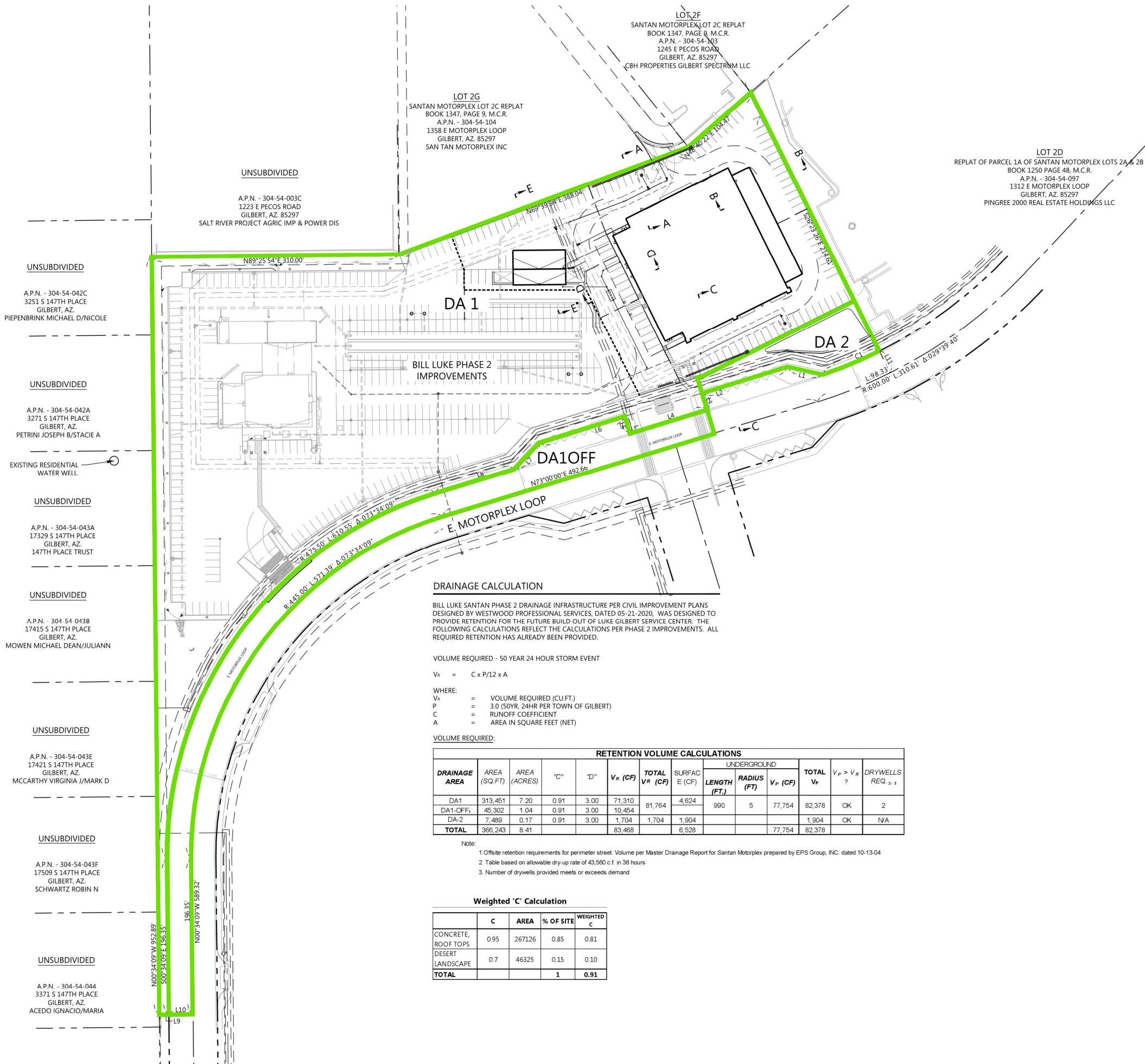
**Westwood**  
Professional Services, Inc.  
6909 East Greenway Parkway, Suite 250  
Scottsdale, AZ 85254  
Phone: (480) 747-6558  
Fax: (480) 367-8025  
westwoodps.com

COVER SHEET  
LUKE GILBERT SERVICE CENTER  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA



SHEET NUMBER: 5 OF C1  
DATE: 11-23-2020  
PROJ: 0010058.01





KEY MAP LEGEND

— DRAINAGE AREA

- - - LIMITS OF PHASE 2 CONSTRUCTION

- LEGEND
- |          |                             |           |  |
|----------|-----------------------------|-----------|--|
| —        | PROPERTY LINE               | W         | UNDERGROUND WATER                                      |
| - - -    | RIGHT OF WAY LINE           | W.B.O.    | WATER BLOW-OFF   |
| - . - .  | SECTION LINE                | W.M.      | WATER METER  |
| - - -    | CENTER LINE                 | W         | WATER MANHOLE  |
| - - -    | EASEMENT LINE               | W.S.      | WATER SERVICE  |
| - . - .  | HIGH WATER LINE             | W.V.      | WATER VALVE  |
| - - -    | CONTOUR LINE                | W.VLT.    | WATER VAULT  |
| - - -    | UNDERGROUND UTILITY         | D.D.C.V.  | DOUBLE DETECTOR CHECK VALVE                            |
| - - -    | EDGE OF PAVEMENT            | F.H.      | FIRE HYDRANT   |
| ■        | SURVEY MONUMENT IN HANDHOLE | F.D.C.    | FIRE RISER   |
| ●        | SURVEY MONUMENT FLUSH       | A.R.V.    | AIR RELEASE VALVE                                      |
| ○        | FOUND SURVEY MONUMENT       | R.P.V.    | REDUCE PRESSURE VALVE                                  |
| —        | SIGN                        | SIZE TYPE | TREE   |
| E        | UNDERGROUND ELECTRIC        | T.O.G.    | TOWN OF GILBERT  |
| E.CAB.   | ELECTRIC CABINET            | BK.       | BOOK   |
| E.J.B.   | ELECTRIC J-BOX              | PG.       | PAGE   |
| E.T.     | ELECTRIC TRANSFORMER        | R.O.W.    | RIGHT OF WAY   |
| E.VLT.   | ELECTRIC VAULT              | M.C.R.    | MARICOPA COUNTY RECORDER OFFICE ASSESSOR PARCEL NUMBER |
| P.P.     | POWER POLE                  | A.P.N.    | PUBLIC UTILITY EASEMENT                                |
| —        | STREET LIGHT                | P.U.E.    | WATER EASEMENT   |
| S.L.J.B. | POWER POLE W/LIGHT          | W.E.      | BACK CURB  |
| □        | LIGHT POLE                  | B/C       | TOP CURB ELEVATION                                     |
| IRR      | UNDERGROUND IRRIGATION LINE | G         | GUTTER ELEVATION                                       |
| I.C.B.   | IRRIGATION CONTROL BOX      | P         | PAVEMENT ELEVATION                                     |
| I.V.     | IRRIGATION VALVE            | C         | CONCRETE ELEVATION                                     |
| I.V.B.   | IRRIGATION VALVE BOX        | NG        | NATURAL GROUND   |
| S        | UNDERGROUND SEWER           | INV       | INVERT   |
| S.C.O.   | SEWER CLEAN-OUT             | TB        | TOP BANK   |
| ●        | SEWER MANHOLE               | BB        | BOTTOM BANK  |
| ○        | DRAIN MANHOLE               | TW        | TOP WALL   |
| W        | DRYWELL                     | RW        | RECLAIMED WATER  |
| ⊙        | DRYWELL INTERCEPTOR         |           |  |
| R.D.     | ROOF DRAIN                  |           |  |
| T        | UNDERGROUND TELEPHONE       |           |  |
| OHT      | OVERHEAD TELEPHONE          |           |  |
| T.CAB.   | TELEPHONE CABINET           |           |  |
| T.R.     | TELEPHONE RISER             |           |  |

DRAINAGE CALCULATION

BILL LUKE SANTAN PHASE 2 DRAINAGE INFRASTRUCTURE PER CIVIL IMPROVEMENT PLANS DESIGNED BY WESTWOOD PROFESSIONAL SERVICES, DATED 05-21-2020. WAS DESIGNED TO PROVIDE RETENTION FOR THE FUTURE BUILD OUT OF LUKE GILBERT SERVICE CENTER. THE FOLLOWING CALCULATIONS REFLECT THE CALCULATIONS PER PHASE 2 IMPROVEMENTS. ALL REQUIRED RETENTION HAS ALREADY BEEN PROVIDED.

VOLUME REQUIRED - 50 YEAR 24 HOUR STORM EVENT

$$V_R = C \times P / 12 \times A$$

WHERE:

V <sub>R</sub>	=	VOLUME REQUIRED (CU.FT.)
P	=	3.0 (50YR, 24HR PER TOWN OF GILBERT)
C	=	RUNOFF COEFFICIENT
A	=	AREA IN SQUARE FEET (NET)

VOLUME REQUIRED:

RETENTION VOLUME CALCULATIONS													
DRAINAGE AREA	AREA (SQ.FT)	AREA (ACRES)	"C"	"D"	V <sub>R</sub> (CF)	TOTAL V <sub>R</sub> (CF)	SURFACE (CF)	UNDERGROUND			TOTAL V <sub>P</sub>	V <sub>P</sub> > V <sub>R</sub> ?	DRYWELLS REQ. 2, 3
								LENGTH (FT.)	RADIUS (FT)	V <sub>P</sub> (CF)			
DA1	313,451	7.20	0.91	3.00	71,310	81,764	4,624	990	5	77,754	82,378	OK	2
DA1-OFF	45,302	1.04	0.91	3.00	10,454	1,704	1,904				1,904	OK	NA
DA-2	7,489	0.17	0.91	3.00	1,704	83,468	6,528						
TOTAL	366,243	8.41								77,754	82,378		

Note:

1. Offsite retention requirements for perimeter street. Volume per Master Drainage Report for Santan Motorplex prepared by EPS Group, INC. dated 10-13-04
2. Table based on allowable dry-up rate of 43,560 c.f. in 36 hours
3. Number of drywells provided meets or exceeds demand

Weighted 'C' Calculation

	C	AREA	% OF SITE	WEIGHTED C
CONCRETE, ROOF TOPS	0.95	267126	0.85	0.81
DESERT LANDSCAPE	0.7	46325	0.15	0.10
TOTAL			1	0.91

PRELIMINARY NOT FOR  
CONSTRUCTION  
11-23-2020



DESIGNED:	MJC	09-22-2020
CHECKED:	MJC	
DRAWN:		
FIELD CREW:		
FIELD WORK DATE:		
SCALE:	1" = 60'	N/A
HORIZONTAL:		
VERTICAL:		

**Westwood**

6909 East Greenway Parkway Suite 250  
Scottsdale, AZ 85254  
Phone (480) 747-6558  
Fax (480) 367-8025  
westwoodps.com

KEY MAP  
LUKE GILBERT SERVICE CENTER  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA

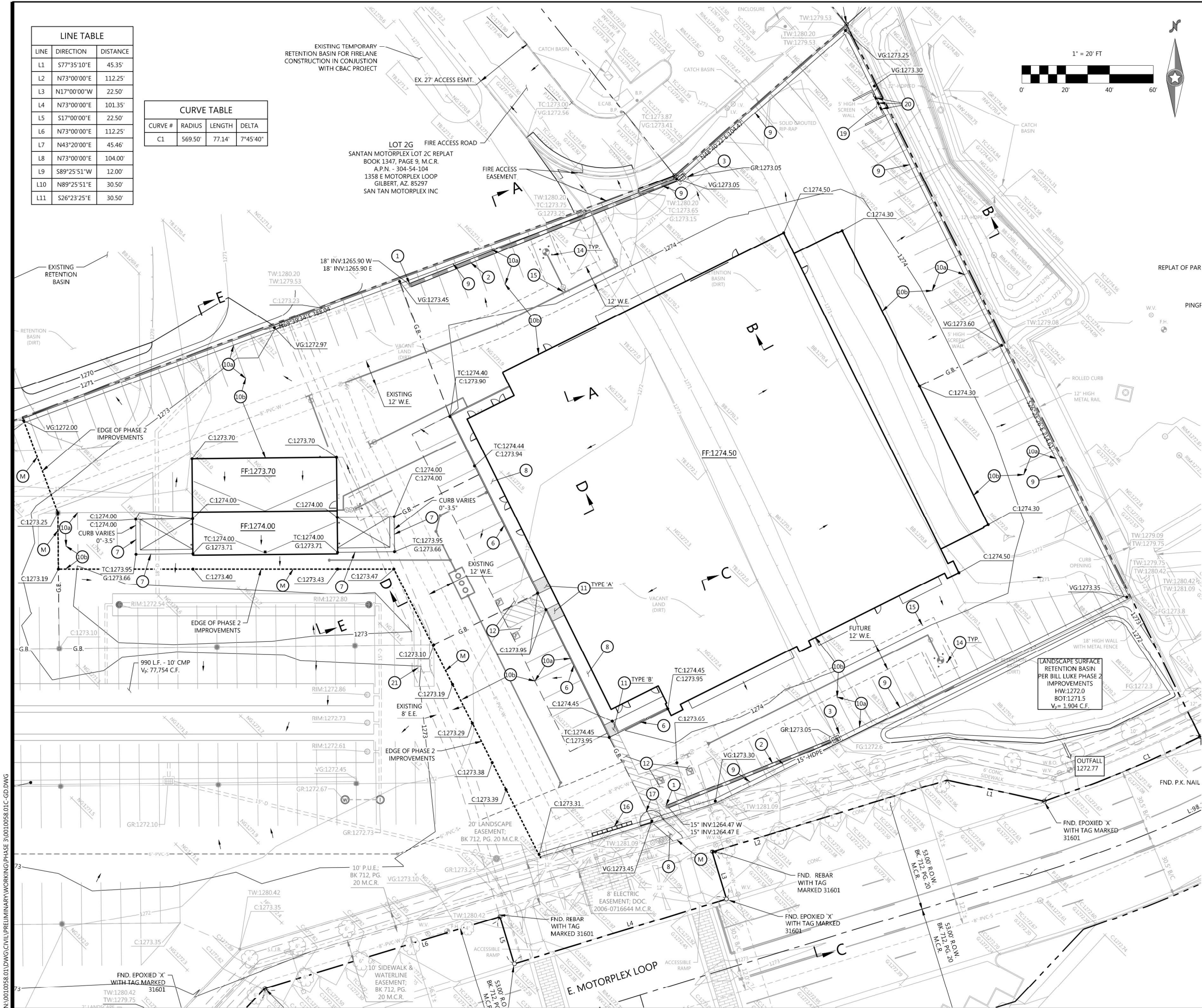


SHEET NUMBER:  
5  
OF  
C2

DATE: 11-23-2020  
PROJ.: 0010058.01

LINE TABLE		
LINE	DIRECTION	DISTANCE
L1	S77°35'10"E	45.35'
L2	N73°00'00"E	112.25'
L3	N17°00'00"W	22.50'
L4	N73°00'00"E	101.35'
L5	S17°00'00"E	22.50'
L6	N73°00'00"E	112.25'
L7	N43°20'00"E	45.46'
L8	N73°00'00"E	104.00'
L9	S89°25'51"W	12.00'
L10	N89°25'51"E	30.50'
L11	S26°23'25"E	30.50'

CURVE TABLE			
CURVE #	RADIUS	LENGTH	DELTA
C1	569.50'	77.14'	7°45'40"



GRADING AND DRAINAGE CONSTRUCTION NOTES

- 1 REMOVE EXISTING STORM DRAIN CAP AND CONNECT.
- 2 INSTALL ADS N-12 MEGA GREEN WT STORM DRAIN PIPE (ASTM F2487 PIPE).
- 3 INSTALL NYLOPLAST DRAIN BASIN WITH 2X3 M.A.G. GRATE.
- 4 CONNECT TO BUILDING ROOF DRAIN. REFER TO PLUMBING PLANS FOR CONTINUATION.
- 5 INSTALL 15" NYLOPLAST BASIN WITH STANDARD GRATE NO. 1599CG PER DETAIL ON SHEET C5.
- 6 CONSTRUCT 6" SINGLE CURB. REFER TO M.A.G. DETAIL 222 TYPE 'B'.
- 7 CONSTRUCT ROLLED CURB PER M.A.G. DETAIL 220-1 TYPE 'D'.
- 8 CONSTRUCT SIDEWALK PER M.A.G. DETAIL 230. REFER TO ARCHITECTURAL PLANS FOR FINISH AND SCORING DETAILS.
- 9 CONSTRUCT VALLEY GUTTER. REFER TO DETAIL ON SHEET C5.
- 10a CONCRETE PAVEMENT 6" P.C.C.P. ON 4" A.B.C. REFER TO SOILS REPORT BY ALPHA GEOTECHNICAL & MATERIALS, INC. ALPHA PROJ. NO. 19-G-10054 DATED AUGUST 28, 2019. REFER TO ARCHITECTURAL PLANS FOR SURFACE TREATMENT, SCORE JOINT PATTERN & COLOR DETAILS.
- 10b CONCRETE PAVEMENT 9" P.C.C.P. ON 4" A.B.C. REFER TO SOILS REPORT BY ALPHA GEOTECHNICAL & MATERIALS, INC. ALPHA PROJ. NO. 19-G-10054 DATED AUGUST 28, 2019. REFER TO ARCHITECTURAL PLANS FOR SURFACE TREATMENT, SCORE JOINT PATTERN & COLOR DETAILS.
- 11 CONSTRUCT ACCESSIBLE CONCRETE RAMP PER DETAIL ON SHEET C5. TYPE PER PLAN.
- 12 ACCESSIBLE PARKING/LOADING/PATH OF TRAVEL. 2% MAX. SLOPE IN ANY DIRECTION.
- 13 INSTALL ACCESSIBLE PARKING SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 14 INSTALL BOLLARDS TO PROTECT PROPOSED FIRE HYDRANT PER M.A.G. DETAIL 140.
- 15 FIRE HYDRANT MARKER PER T.O.G. DETAIL GIL-325.
- 16 BIKE RACK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 17 MAN GATE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 18 PROPOSED LIGHT POLE. COORDINATE WITH ELECTRICAL PLANS FOR SITE LIGHTING DETAILS.
- 19 TRASH ENCLOSURE
- 20 CONSTRUCT WALL OPENING PER DETAIL ON SHEET C5.
- 21 ELECTRICAL TRANSFORMER LOCATION.
- M MATCH EXISTING

DESIGNED:	CHECKED:	INITIAL ISSUE:	09-10-2020
DRAWN:	REV:	REV:	
FIELD CREW:	REV:	REV:	
FIELD WORK DATE:	REV:	REV:	
SCALE: 1" = 20'	HORIZONTAL	SCALE: 1" = 20'	VERTICAL

**Westwood**  
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Fax (480) 367-8025  
westwoodps.com  
Westwood Professional Services, Inc.

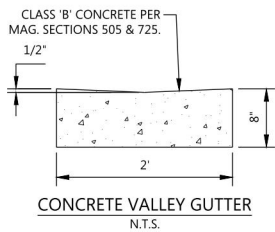
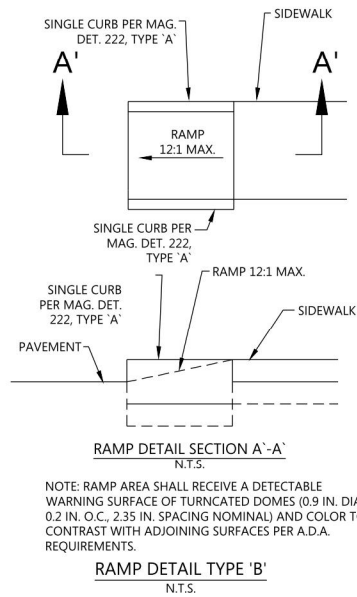
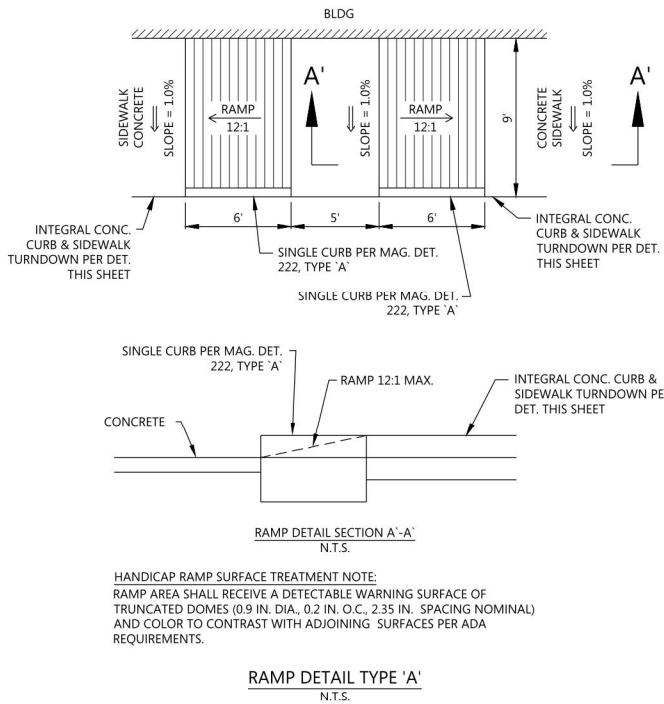
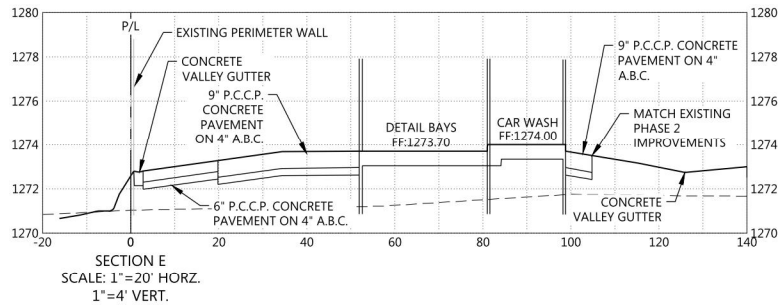
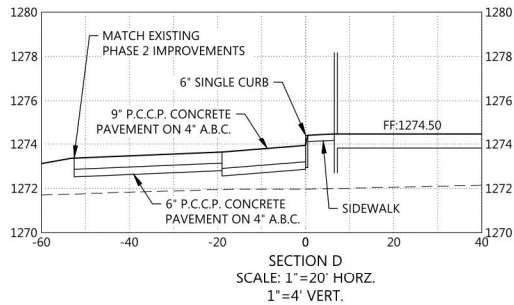
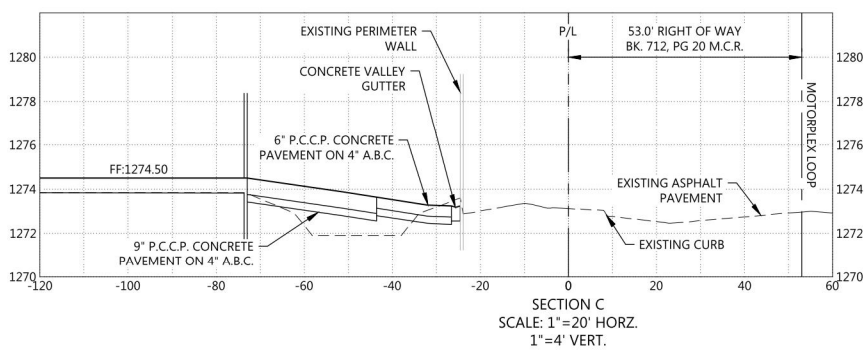
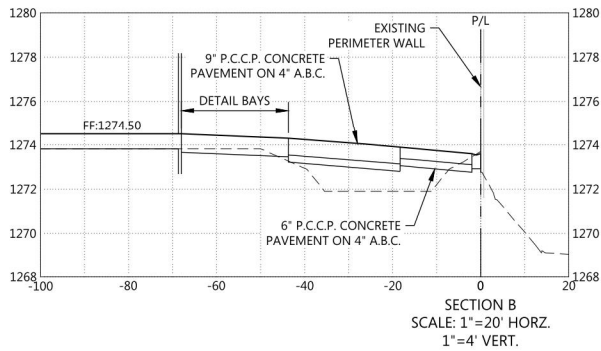
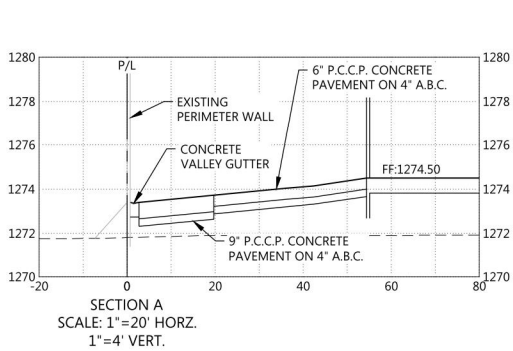
GRADING AND DRAINAGE PLAN  
LUKE GILBERT SERVICE CENTER  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA



PRELIMINARY NOT FOR  
CONSTRUCTION  
11-23-2020







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CONSTRUCTION  
11-23-2020



SECTIONS AND DETAILS  
LUKE GILBERT SERVICE CENTER  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA



SHEET NUMBER:

5

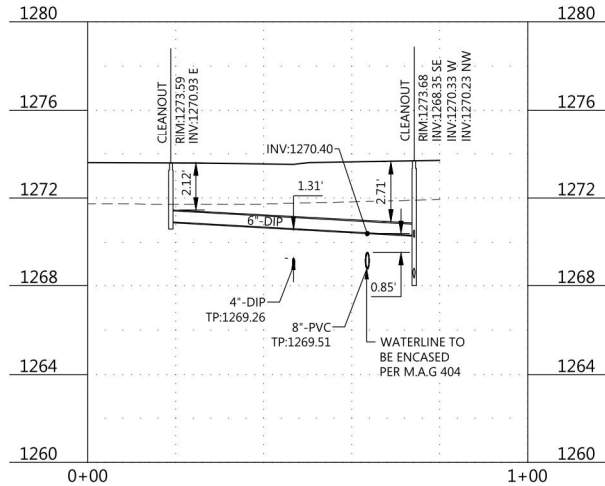
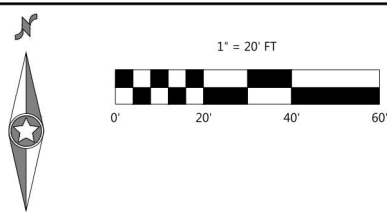
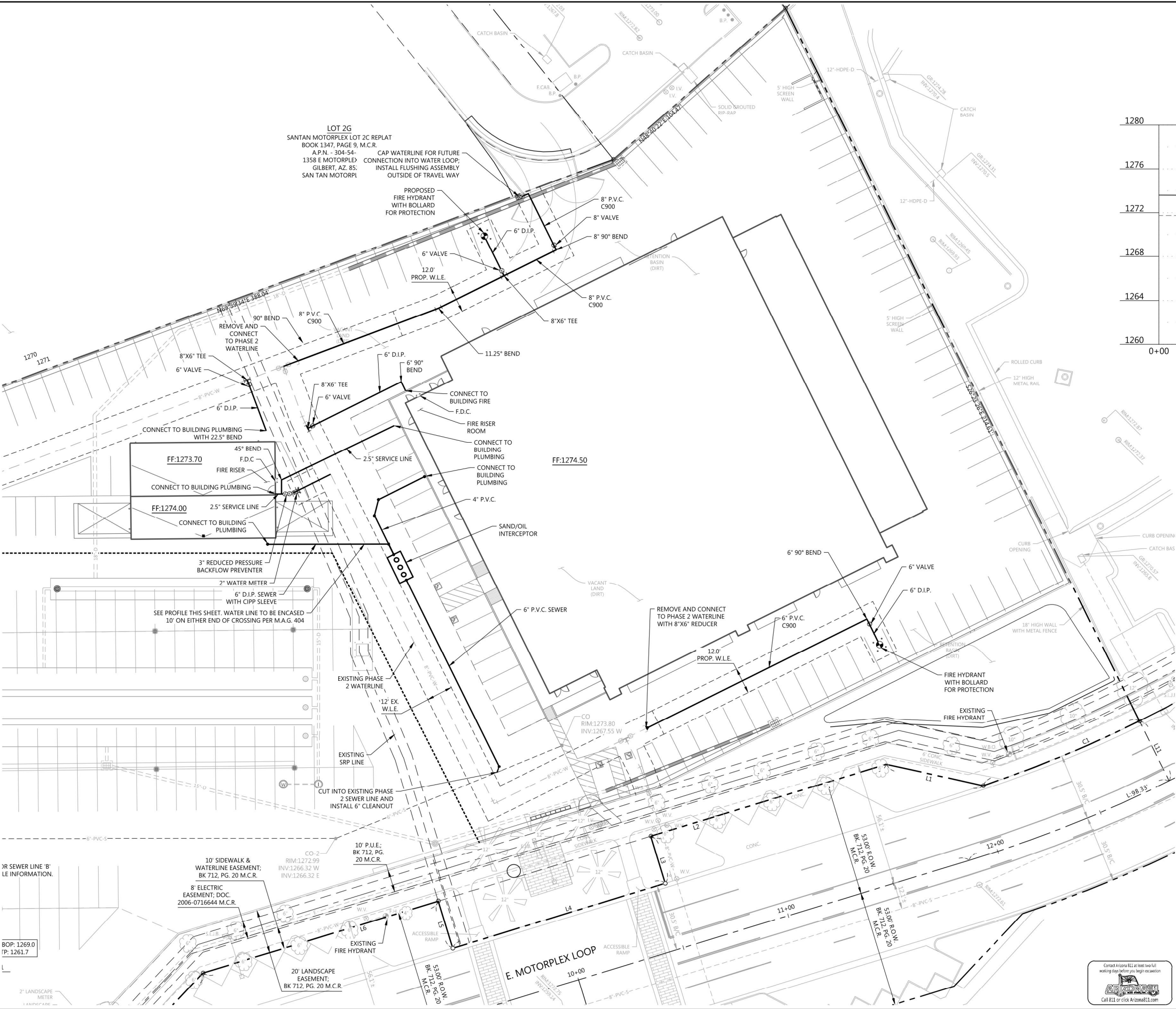
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C4

DATE: 11-23-2020  
PROJ: 0010058.01

DESIGNED:	CHECKED:	DRAWN:	FIELD CREW:	FIELD WORK DATE:	SCALE: 1" = 20' HORIZONTAL 1" = 4' VERTICAL
INITIAL ISSUE: 09-22-2020	REV:	REV:	REV:	REV:	REV:

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Westwood Professional Services, Inc.

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CHECKED:	MJC	REV:	
DRAWN:		REV:	
FIELD CREW:		REV:	
FIELD WORK DATE:		REV:	
SCALE:	1" = 20'	HORIZONTAL	VERTICAL

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westwoodps.com

Westwood Professional Services, Inc.

UTILITY PLAN  
LUKE GILBERT SERVICE CENTER  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA



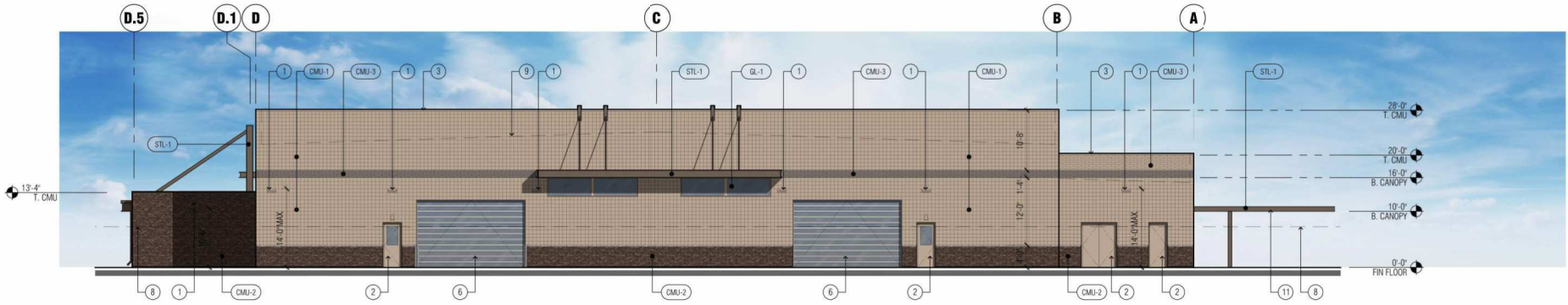
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DATE: 11-23-2020  
PROJECT: 0010058.01

PRELIMINARY NOTE  
FOR CONSTRUCTION  
11-23-2020

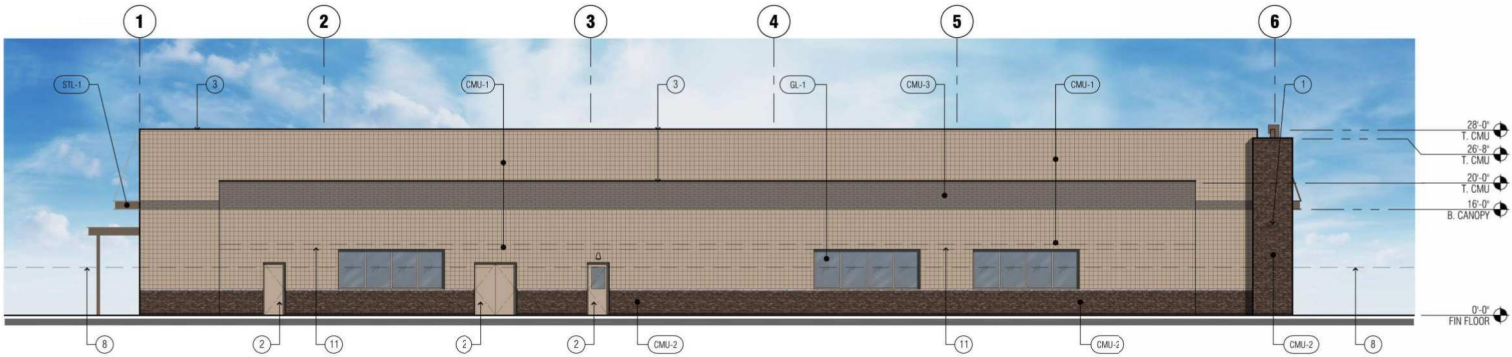




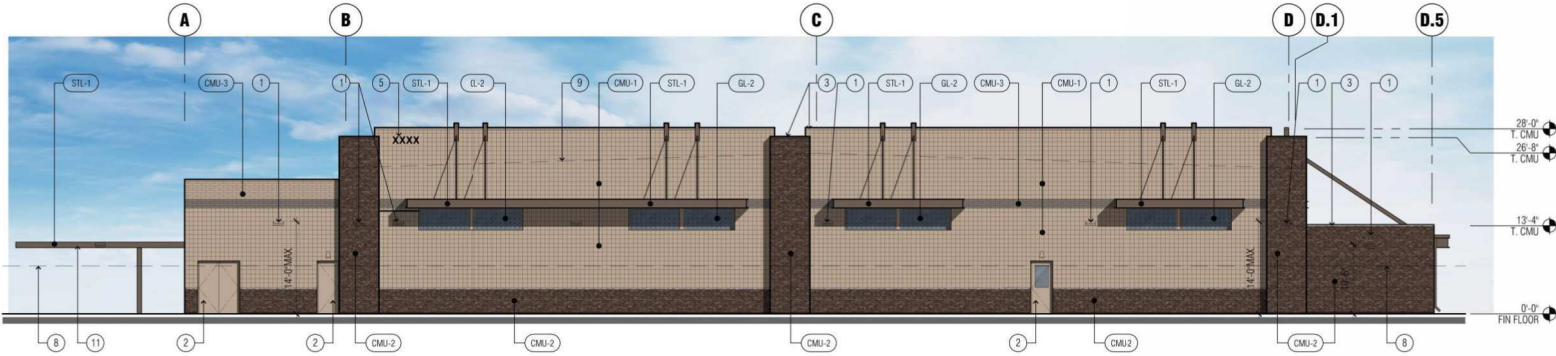
DR20-138: Bill Luke Santan Phase II  
Attachment 6 - Elevations



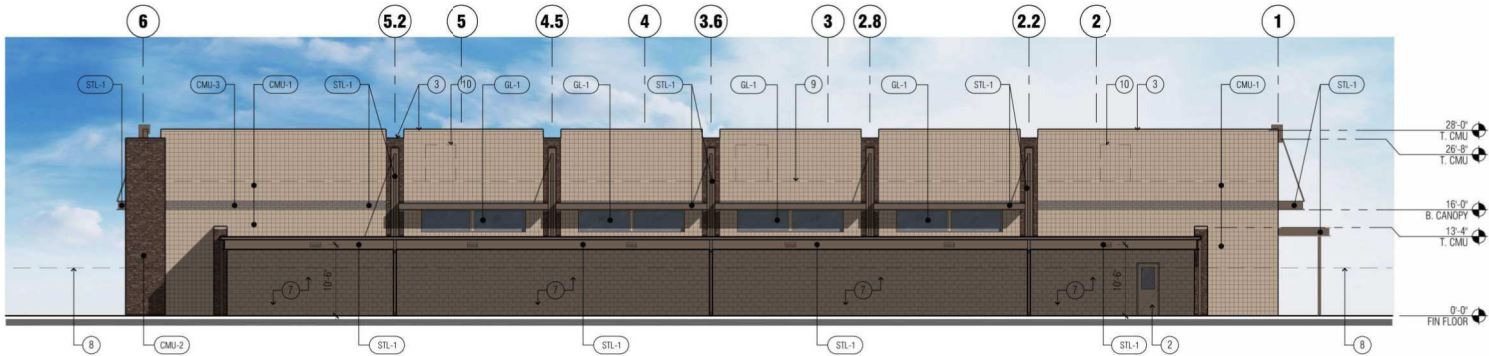
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

GENERAL NOTES

1. ALL SIGNAGE SHALL BE BY SEPARATE SUBMITTAL, REVIEW, APPROVAL AND PERMIT.
2. ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
3. ALL ROOF MOUNTED MECHANICAL AND OTHER EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET OR SCREEN WALLS.

KEYNOTES

- 1 WALL MOUNTED LIGHT FIXTURE
- 2 HOLLOW METAL DOOR
- 3 METAL COPING - PAINTED TO MATCH ADJACENT SURFACE
- 4 ELECTRICAL SERVICE ENTRANCE SECTION
- 5 ADDRESS NUMERALS BY GC  
PREMISE IDENTIFICATION SHALL COMPLY WITH TOWN OF GILBERT FIRE PREVENTION DIVISION REGULATION NO. 12-5-5.1
- 6 HIGH SPEED OVERHEAD DOOR - SILVER ALUMINUM WITH CLEAR VISION PANELS
- 7 OPEN
- 8 TOP OF EXISTING SITE SCREEN WALL BEYOND
- 9 LINE OF ROOF BEYOND
- 10 MECHANICAL EQUIPMENT BEHIND PARAPET
- 11 STEEL PARKING CANOPY BY OTHERS

FINISH LEGEND

SYM.	MATERIAL DESCRIPTION
CMU-1	MATERIAL: REGULAR FACE CONCRETE MASONRY UNIT MANUF: SUPERLITE PRODUCT: VERTICAL SCORE COLOR: BONE SEALER: OKON W-2
CMU-2	MATERIAL: SPLIT FACE CONCRETE MASONRY UNIT MANUF: SUPERLITE PRODUCT: RUNNING BOND COLOR: HOP SANDSTONE SEALER: OKON W-2
CMU-3	MATERIAL: GROUND FACE CONCRETE MASONRY UNIT MANUF: SUPERLITE PRODUCT: 4" H. RUNNING BOND COLOR: BLACK MOUNTAIN SEALER: OKON W-2
GL-1	MATERIAL: INSULATED STOREFRONT WINDOW MANUF: ARCADIA PRODUCT: A451T, SOLARCOOL GRAY GLASS, LOW-E COLOR: AB-1 LIGHT CHAMPAGNE ANODIZED ALUM
GL-2	MATERIAL: INSULATED STOREFRONT WINDOW W/ SPANDREL GLAZING MANUF: ARCADIA PRODUCT: A451T, ICD OPACI-COAT 3-820 GREY #4 COLOR: AB-1 LIGHT CHAMPAGNE ANODIZED ALUM
STL-1	MATERIAL: PAINTED STEEL FRAMING MANUF: GC PRODUCT: SW 7515 HOMESTEAD BROWN COLOR: SW 7515 HOMESTEAD BROWN



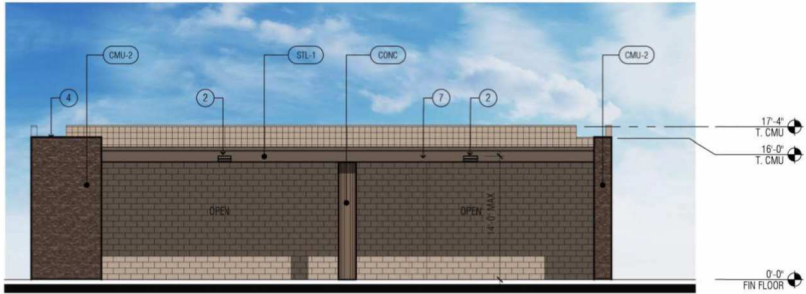
BILL LUKE SANTAN  
DETAILING BUILDING  
1358 EMOTORPLEX LOOP  
GILBERT, ARIZONA

PROJECT NO.: 2015

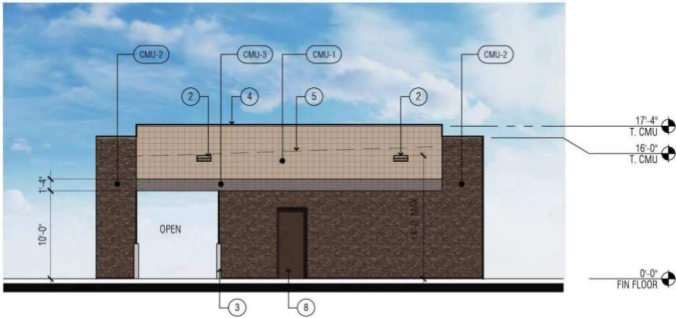
ISSUE DATE: 8/4/20

BUILDING  
ELEVATIONS

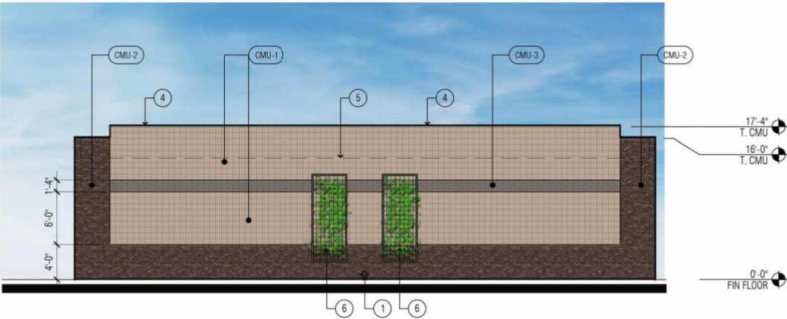
A200



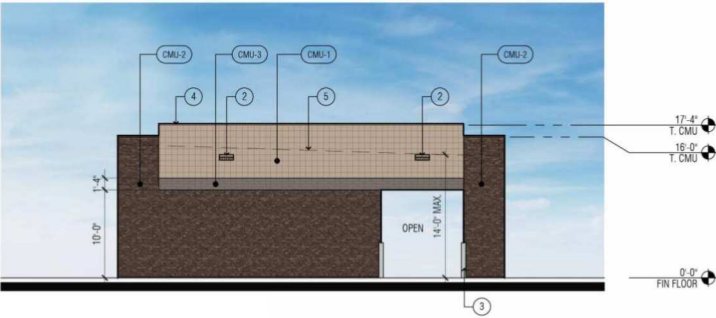
NORTH ELEVATION - CAR WASH/STEAM BAYS



EAST ELEVATION - CAR WASH/STEAM BAYS



SOUTH ELEVATION - CAR WASH/STEAM BAYS



WEST ELEVATION - CAR WASH/STEAM BAYS



GENERAL NOTES

1. ALL SIGNAGE SHALL BE BY SEPARATE SUBMITTAL, REVIEW, APPROVAL AND PERMIT.
2. ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
3. SEE STRUCTURAL FOR MASONRY CONTROL JOINT LOCATIONS.

KEYNOTES

- 1 ROOF DRAIN & OVERFLOW NOZZLE
- 2 WALL MOUNTED LIGHT FIXTURE
- 3 TYPICAL BOLLARD W/ COVER
- 4 METAL COPING - PAINTED TO MATCH ADJACENT SURFACE
- 5 LINE OF ROOF BEYOND
- 6 GREENSCREEN LANDSCAPE TRELLIS
- 7 PAINTED STEEL BEAM
- 8 HOLLOW METAL DOOR - PAINT TO MATCH ADJACENT WALL COLOR

FINISH LEGEND

SYM.	MATERIAL DESCRIPTION
CMU-1	MATERIAL: REGULAR FACE CONCRETE MASONRY UNIT MANUF: SUPERLITE PRODUCT: VERTICAL SCORE COLOR: BONE SEALER: OKON W-2
CMU-2	MATERIAL: SPLIT FACE CONCRETE MASONRY UNIT MANUF: SUPERLITE PRODUCT: RUNNING BOND COLOR: HOPI SANDSTONE SEALER: OKON W-2
CMU-3	MATERIAL: GROUND FACE CONCRETE MASONRY UNIT MANUF: SUPERLITE PRODUCT: 4" H. RUNNING BOND COLOR: BLACK MOUNTAIN SEALER: OKON W-2
STL-1	MATERIAL: PAINTED STEEL FRAMING MANUF: GC COLOR: SW 7515 HOMESTEAD BROWN
CONC	MATERIAL: CAST IN PLACE CONCRETE - PAINTED MANUF: GC COLOR: TO MATCH CMU-2



DRAWN BY: 8/30/21

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DETAILING BUILDING  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA

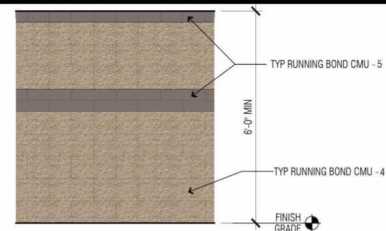
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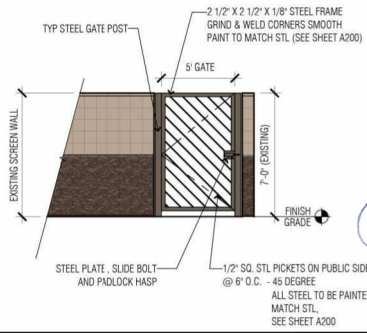
CAR WASH/STEAM BAY  
BUILDING ELEVATIONS

A201





ELEVATION	SYM.	MATERIAL DESCRIPTION
MATCH EXISTING ADJACENT STEEL WALL'S CMU COLOR & FINISH	CMU-4	MATERIAL MANUF WESTERN BLOCK SPEC 8x8x16 SPLIT-FACE COLOR "BONE" W/ BLACK CINDERS ONLY
	CMU-5	MATERIAL MANUF WESTERN BLOCK SPEC 8x8x16 SMOOTH FACE COLOR "COCOA BROWN"



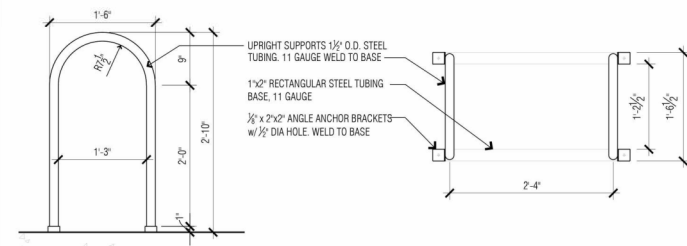
**JOHN MAHONEY**  
**ARCHITECT**  
850 W. ELLIOT ROAD #108  
TEMPE, ARIZONA 85284  
P 480.345.8457 F 480.345.1759



EXPIRES ON 9/30/2

## 6 TRASH ENCLOSURE WALL

## 1 MAN GATE ELEVATION



ELEVATION VIEW

### PLAN VIEW

- NOTES:

1. DOUBLE RACK HOLDING 4 BICYCLES.  
PROVIDE 17 PARKING SPACES.
2. FINISH TO BE WEATHER  
RESISTANT, BAKED-ON POWDER  
POLYMER COATING
3. ANCHOR RACK TO CONCRETE W 3/4"  
DIA. X 24" WEDGE ANCHORS AND  
TAMPER RESISTANT OR WELDED  
NUTS, (A RECO) OR SET DEEP 12"  
BET LOW GRADE IN 24" DIA. 6" WID  
CONCRETE FOOTING.
4. CONCRETE BASE MAY BE COVERED  
WITH TURF OR DECOMPOSED  
GRANITE.
5. PLACEMENT OF BICYCLE RACK  
SHALL BE CONVENIENT TO MAIN  
ENTRANCE AND IN A HIGHLY VISIBLE  
AREA.
6. 24" MIN. CLEARANCE FROM WALLS  
OR OBSTRUCTIONS INCLUDING  
CURBS OR EDGE OF ROADWAY ON  
BOTH SIDES AND BACK OF RACK.  
FRONT OF RACK SHALL HAVE A 6"  
MIN CLEAR AREA.

## 7 BICYCLE PARKING RACK

**BILL LUKE SAN TAN  
DETAILING BUILDING  
1358 E. MOTORPLEX LOOP  
GILBERT, ARIZONA**

PROJECT NO.: 1904

ISSUE DATE: 4/17/20

## SITE DETAILS

## A510

**DR20-138: Bill Luke Santan Phase II  
Attachment 7 - Colors and Materials**



CMU-1 VERTICAL SCORE CONCRETE  
MASONRY UNIT BY SUPERLITE "BONE"



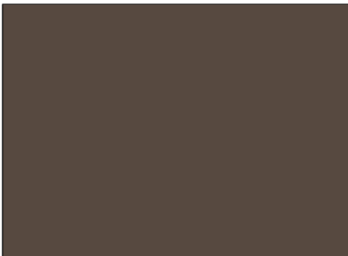
CMU-2 SPLIT FACE CONCRETE MASONRY  
UNIT BY SUPERLITE "HOPI SANDSTONE"



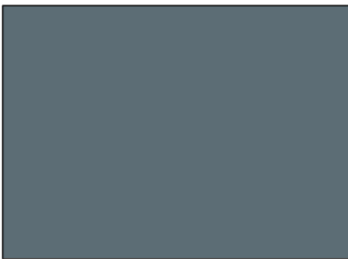
CMU-3 GROUND FACE CONCRETE MASONRY  
UNIT BY SUPERLITE "BLACK MOUNTAIN"



GL-1 & GL-2 STOREFRONT WINDOW SYSTEM BY ARCADIA  
"LIGHT CHAMPAGNE ANODIZED ALUM"



STL-1 PAINTED STEEL, SHERWIN WILLIAMS 7515  
"HOMESTEAD BROWN"



GL-1 STOREFRONT WINDOW SYSTEM BY VITRO  
ARCHITECTURAL GLASS "SOLARCOOL GRAY GLASS, LOW-E"



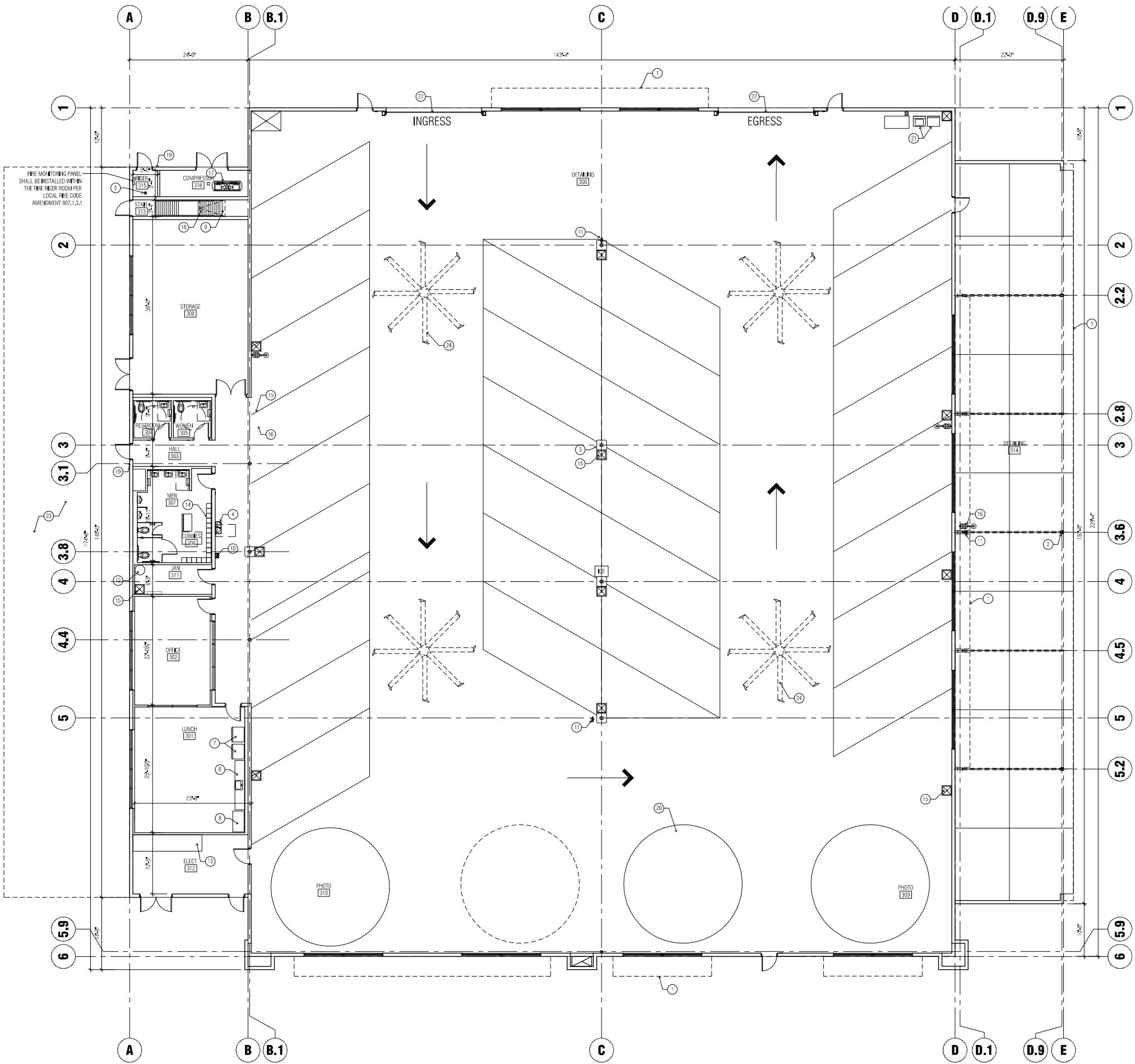
GL-2 STOREFRONT WINDOW SYSTEM BY ICD HIGH  
PERFORMANCE COATINGS "OPACI-COAT 3-820 GREY #4"

**JOHN MAHONEY**  
**A R C H I T E C T**  
850 W. ELLIOT RD, #108 TEMPE, AZ 85284  
TEL 480-345-8457 FAX 480-345-1759

**BILL LUKE SANTAN PHASE 2  
DETAILING BUILDING**



DR20-138: Bill Luke Santan Phase II  
Attachment 8 - Floor Plans



KEYNOTES

1. FACE OF SOFFIT/FASCIA ABOVE
2. TYPICAL STEEL COLUMN
3. TYPICAL STEEL COLUMN W/ CONCRETE BASE
4. DUAL HEIGHT DRINKING FOUNTAIN
5. FIRE SPRINKLER RISER PER GOVERNING AGENCY RECS
6. CASEWORK BY GC
7. VENDING MACHINE BY OWNER
8. REFRIGERATOR BY OWNER
9. ROOF ACCESS HATCH
10. 2-4-20-45°C FIRE EXT CAB
11. 4-6-80-45°C WALL MTD PORTABLE FIRE EXT
12. WATER HEATER
13. ELECTRICAL SERVICE ENTRANCE SECTION
14. DOUBLE TIER LOCKERS BY OWNER
15. TYPICAL SERVICE SINK
16. EMERGENCY EYEWASH / SHOWER
17. AIR COMPRESSOR BY OWNER
18. CONCRETE & METAL PAINT STAIRS & STEEL PIPE HANDRAIL
19. KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS
20. TYPICAL VEHICLE PHOTO BOOTH BY OWNER
21. WASHER/DRYER BY OWNER
22. HIGH SPEED OVERHEAD DOOR - SILVER ALUMINUM WITH CLEAR VISION PANELS
23. PARKING CANOPY DESIGNED BY OTHERS
24. TYPICAL CEILING FAN ABOVE

--- PATH OF TRAVEL ARROW



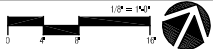
BILL LUKE SANTAN  
DETAILING BUILDING  
1358 E MOTORPLEX LOOP  
GILBERT, ARIZONA

PROJECT NO.: 2015  
ISSUE DATE: 9/21/20

FLOOR PLAN  
SERVICE/DETAILING

A110

FLOOR PLAN - SERVICE/DETAILING

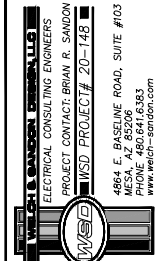




DR20-138: Bill Luke Santan Phase II  
Attachment 9 - Lighting

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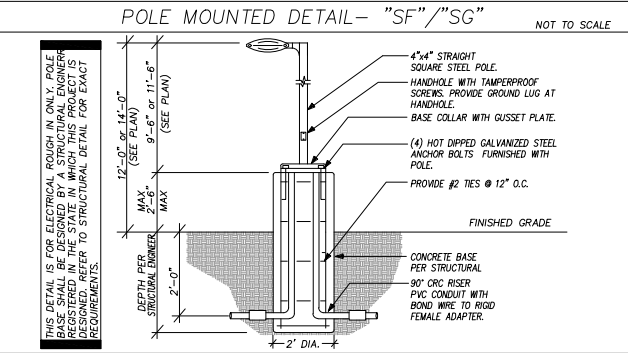
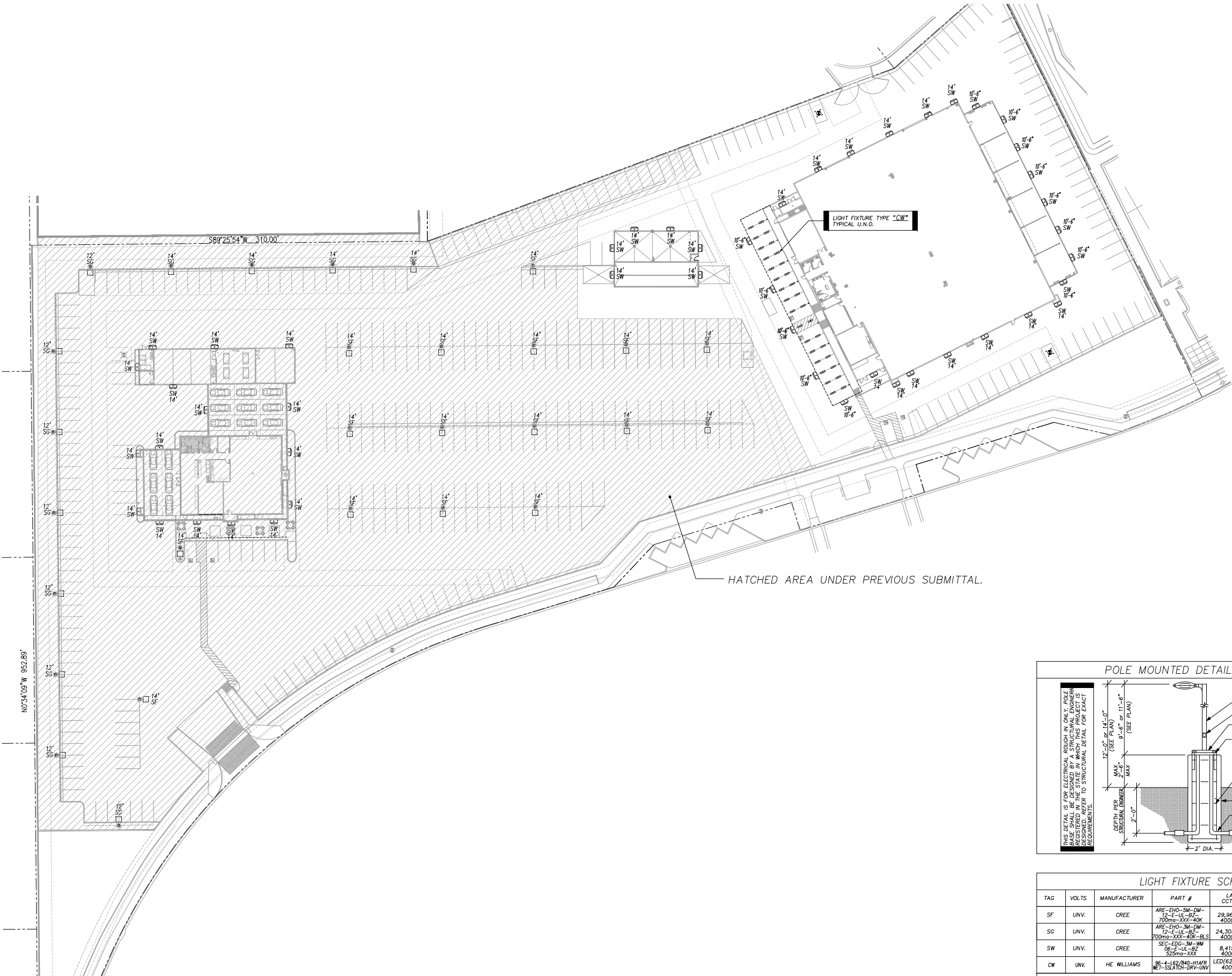
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FOR CHANGE ORDERS THAT MAY  
OCCUR SHOULD FINAL BIDS AND/OR  
CONSTRUCTION BASED ON THESE  
DOCUMENT BE STATED PRIOR TO  
PERMIT BEING ISSUED BY AAL

BILL LUKE SANTAN  
DETAILING BUILDING  
SANTAN MOTORPLEX  
GILBERT, ARIZONA

PROJECT NO.: 2015  
ISSUE DATE: 8/4/20

SITE LIGHTING  
PLAN

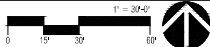
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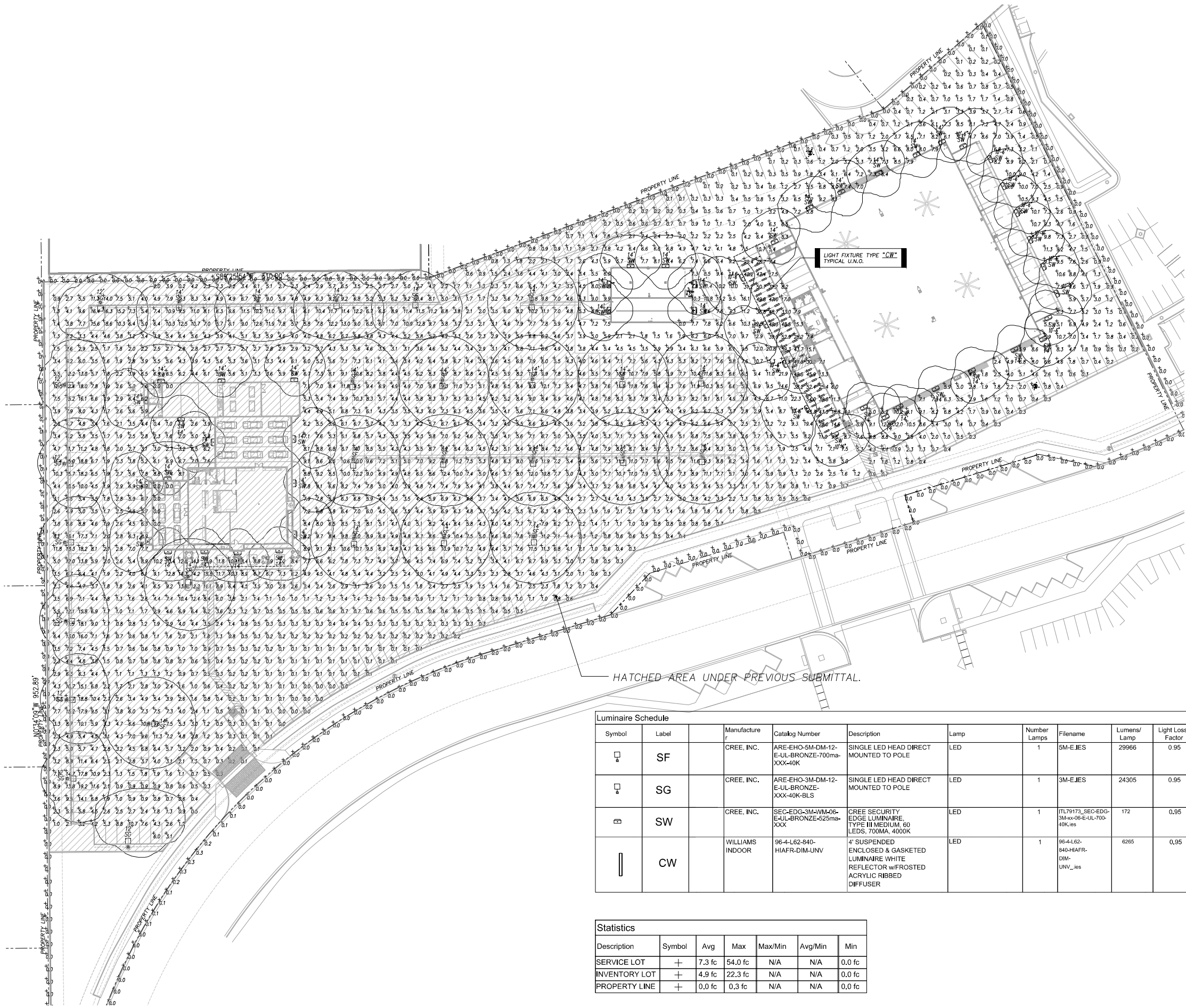


LIGHT FIXTURE SCHEDULE					
TAG	VOLTS	MANUFACTURER	PART #	LAMPING CCT/WATTS	DESCRIPTION/NOTES
SF	UNV.	CREE	ARE-EHO-3M-DM-12-E-UL-B2-700lm-XXI-40w	LED 29,966 lumens 4000K/287W	SINGLE HEAD LED POLE WITH TYPE 5 OPTICS.
SG	UNV.	CREE	ARE-EHO-3M-DM-12-E-UL-B2-700lm-XXI-40w	LED 24,305 lumens 4000K/287W	SINGLE HEAD LED POLE WITH TYPE 3 OPTICS AND BACK LIGHT SHIELD.
SW	UNV.	CREE	SEC-EDG-3M-WM-36-E-UL-B2-325lm-XXI	LED 8,415 lumens 4000K/101W	LED WALLPACK - SEE ELEVATIONS FOR MOUNTING HEIGHTS. MAXIMUM MOUNTING HEIGHT IS 14'-0" AEG.
CW	UNV.	HE WILLIAMS	36-4-162/240-11AFR-WET-SLATCH-DRV-UNV	LED(6200 LUMENS 4000K/48W)	4'-0" IP-66 RATED LED STRIP LIGHT. PROVIDE W/ EM FEATURES WHERE NOTED.

SCHEDULE NOTES:  
1. ALL EMERGENCY FIXTURE SHALL PROVIDE MINIMUM OF 90-MINUTE BATTERY BACK-UP. IF THE GENERAL LIGHTING IN THE AREA IS HID, ALL FIXTURES IN THE AREA SHALL HAVE A MINIMUM OF A 10-MINUTE TIME DELAY.  
2. ELECTRICAL CONTRACTOR SHALL PROVIDE A BASE BID OFF THIS LIGHT FIXTURE SCHEDULE. ALTERNATES MAY BE SUBMITTED AFTER AWARD OF CONTRACT, PROVIDING THEY ARE SUBMITTED WITH WRITTEN OWNER APPROVAL AND ITEMIZED DEDUCT FROM THE BASE BID. ANY RE-DESIGN REQUIRED BY AN ALTERNATE PACKAGE SHALL BE BILLED TO THE ELECTRICAL CONTRACTOR.  
3. MODULAR WIRING IS ACCEPTABLE.

SITE LIGHTING PLAN





**JOHN MAHONEY  
ARCHITECT**  
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SUBMITTAL  
NOT FOR  
CONSTRUCTION

**WELCH & SANDON DESIGN LLC**  
ELECTRICAL CONSULTING ENGINEERS  
PROJECT CONTACT: BRIAN R. SANDON  
PROJECT # 20-148  
4864 E. BASELINE ROAD, SUITE #103  
MESA, ARIZONA 85205  
PHONE 480.681.6383  
www.welch-sandon.com

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**BILL LUKE SAN TAN  
DETAILING BUILDING  
SAN TAN MOTORPLEX  
GILBERT, ARIZONA**

PROJECT NO.: 2015

ISSUE DATE: 8/4/20

**PHOTOMETRICS SITE  
PLAN**

**DR20**

**PHOTOMETRICS SITE LIGHTING PLAN**



FIXTURE TYPES: "CW"

## 96 LED Fully Enclosed & Gasketed Industrial



CATALOG #

TYPE

PROJECT



### FEATURES

- Fully gasketed fixture resists dust, heat, and weather resistance.
- Standard stainless steel latches protect the fixture from corrosion in harsh environments.
- Latches ensure a tight seal and provide easy access to electrical components.
- Temper-resistant latches available.
- Covers cast polycarbonate gasket poured and formed in place to ensure tight seal—does not absorb water or support fungal growth.
- Meets ANSI Standard 2-Splash Zone certified.
- IP65, IP66, and IP67 certified.
- Made Right Here® in the USA.

### ORDERING INFO

ORDERING EXAMPLE: 96-4-4-LEI830-HAIF-0-DRV-0-UNV

SERIES	LENGTH	LUMENS <sup>1</sup>	CR1	CCT	SHIELDING
96	2' 2"	2' 2" 2,300lm	30	3000K	HAIF
	4' 4"	4' 4" 4,600lm	40	4000K	PCFR
	8' 8"	8' 8" 9,200lm	50	5000K	DCI

### DRIVER<sup>(1)</sup>

DRIVER	VOLTAGE
DRV	120V
DRV	277V
DRV	347V

### SHIELDING

SHIELDING	DESCRIPTION
HAIF	Front, ribbed, impact-resistant acrylic.
PCFR	Front, ribbed, UV stabilized polycarbonate.
DCI	Drop, frosted, impact-resistant acrylic.

### ACCESSORIES

Accessory	Description
Backlight Control Switch	AA-BDCSW-120V-LED
AA-BDCSW-120V-LED	Backlight control switch for 120V LED.
AA-BDCSW-277V-LED	Backlight control switch for 277V LED.

### NOTES

1. Lumen output based on 4000K CCT and 90% CRI. Actual lumens may vary ±5%.
2. For 120V applications, use the 120V driver.
3. For 277V applications, use the 277V driver.
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### PHOTOMETRIC

Beam Angle	Footcandle
30°	100
45°	44
60°	22

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**JOHN MAHONEY**  
**A R C H I T E C T**

**PROJECT NARRATIVE**  
**BILL LUKE SANTAN – DETAILING BUILDING**

Luke Gilbert proposes to build an automotive detailing building & private automated car wash building on an existing property at the Santan Motorplex. The primary/principal use of the detailing building will be *vehicle services, light* as defined by the City's LDC. There will be a small supporting office area within the building. The service portion of the building will be used for light vehicle repair, maintenance, detailing, automotive painting and photography. Vehicle repair will be limited to the replacement and installation of components including batteries, tires, brakes, tune-ups, air conditioning, automobile glass replacement and tinting, upholstery, audio and video equipment, mufflers, and lubrication services. Repair will exclude any operation specified under the *vehicle services, heavy* designation as defined by the City's LDC. A covered open air detailing area will be provided on the East side of the detailing building and on the North side of the car wash. The detailing bays at the car wash will be used for steam cleaning cars. A parking canopy will be located on the West side of the building. The car wash will be used to wash vehicle inventory prior to display. Neither of the proposed buildings shall be accessed by the public.

All parking and vehicle storage will occur within a previously approved 7' high decorative screen wall to match the existing facility. The general public will not make use of the parking lot.

Storm water retention will predominantly occur in underground facilities with the balance in small surface basins. Site walls and site elements will be consistent with the established existing facility and Motorplex themes. No new landscaping is being proposed as part of the new building scope. The site was fully landscaped under a previous permit.

The detailing building square footage will be 40,864SF and the car wash building square footage will be 2,640.

